

SURVEYOR'S OFFICE
Hamilton County

Kenton C. Ward, CEM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

August 20, 2013

Re: Wheeler and Wheeler Drain, Brighton Knoll Sec. 5 Pond Expansion

Attached is a petition and plans for the proposed reconstruction of the Wheeler and Wheeler Drain, Brighton Knoll Sec. 5 Pond Expansion. The reconstruction was petitioned by RH of Indiana LP. The proposal is to reconstruct the drain across parcel 10-11-17-00-00-009.000, owned by RH of Indiana LP as part of the Brighton Knoll, Sec. 5 project per plans by Stoepfelwerth and Associates, Job No. 43400RYL-S5, dated 4/22/2013.

Per the plans, the Sec. 5 Pond Expansion replaces 60' of existing tile with 238' of open drain (pond). This adds an additional 178' to the regulated drain length at this location.

This line will consist of the following:

238' of Open Drain (Pond expansion)

At a previous hearing on December 19, 2012 the northern portion of the pond received approval by the Board for reconstruction of that portion of the drain. For more information, see my report for Wheeler and Wheeler Drain, Brighton Knoll Pond #3 Reconstruction dated Dec. 13, 2012 as recorded in Drainage Board Minutes Book 14 pages 457 - 458. The petition before you today, proposes to expand the pond further south.

As also noted in the previous hearing report for Pond #3, this pond expansion overlaps an area that includes part of a pipe installed in 2011 by Noblesville Schools. The pond expansion removes 60' of 18" HDPE pipe and replaces it with open drain. For more information on the 2011 reconstruction see my report dated June 8, 2011, which was approved at hearing on July 25, 2011, as recorded in Drainage Board minutes book 13, pages 486 - 487.

When compared to the original 1908 JW Wheeler drain tile, this reconstruction covers an area 60' in length and corresponds with original Sta. 6+19 to 6+79 (+/-), per plans for Sec. 5 by Stoepelwerth and Associates.

The cost of the relocation is the responsibility of RH of Indiana LP. The developer provided the Performance Bond as follows:

Name of Bonding Co.: Aspen American Insurance Company
Bond #: SU35792
Bond Date: July 16, 2013
Bond Amount: \$31,905.00

A Non-enforcement Request has been submitted at this time. The easement for the drain will be per the dimensions as shown on the secondary plat for Brighton Knoll, Sec. 5. This includes the easement covering common area #5-1 and the rear yard easements on those lots bordering the pond. I recommend approval of the non-enforcement at this time.

The detention pond is to be considered part of the regulated drain. Pond maintenance shall include inlet, outlet, and erosion control along the banks as part of the regulated drain. The maintenance of the pond such as mowing, aquatic vegetation control and sediment removal will be the responsibility of the Homeowners Association. The Board will also retain jurisdiction for ensuring the storage volume for which the pond was designed will be retained, thereby, allowing no fill or easement encroachments.

This project falls under the requirements as set out in IC 36-9-27-52.5. Therefore, a hearing is not required for the petition.

Sincerely,



Kenton C. Ward
Hamilton County Surveyor

KCW/stc

HAMILTON COUNTY DRAINAGE BOARD
NOBLESVILLE, INDIANA

FILED

JUL 02 2013

OFFICE OF HAMILTON COUNTY SURVEYOR

IN RE: Brighton Knoll, Section 5)
Hamilton County, Indiana)

PETITION FOR RELOCATION AND RECONSTRUCTION

R. H. of Indiana, LP (hereinafter "Petitioner"),

hereby petitions the Hamilton County Drainage Board for authority to relocate and improve a section of the Wheeler & Wheeler Drain, and in support of said petition advises the Board that:

1. Petitioner owns real estate through which a portion of the Wheeler & Wheeler Drain runs.
2. Petitioner plans to develop its real estate with roads, buildings, utilities, storm drains, sanitary sewers and other structures.
3. Petitioner's proposed development of its real estate will require relocation and reconstruction of a portion of the Wheeler & Wheeler Drain, as specifically shown on engineering plans and specifications filed with the Hamilton County Surveyor.
4. The work necessary for the proposed relocation and reconstruction will be undertaken at the sole expense of the Petitioner and such work will result in substantial improvement to the Wheeler & Wheeler Drain, without cost to other property owners on the watershed of the Wheeler & Wheeler Drain.

WHEREFORE, Petitioner requests that an Order issued from the Hamilton County Drainage Board authorizing relocation and reconstruction of the Wheeler & Wheeler Drain, in conformance with applicable law and plans and specifications on file with the Hamilton County Surveyor.



Signed

Kenneth E. Windler

Printed



HCD3-2013-00042

SUBDIVISION BOND

Bond No.: SU35792

Principal Amount: \$31,905.00

KNOW ALL MEN BY THESE PRESENTS, that we
RH of Indiana, L.P.

9025 N. River Road, Ste. 100, Indianapolis, IN 46240

as Principal, and

Aspen American Insurance Company

175 Capital Boulevard, Rocky Hill, CT 06067

a

TX

Corporation, as Surety, are held and firmly bound unto

Hamilton County Board of Commissioners,

One Civic Square, Noblesville, IN 46060

as Obligee, in the penal sum of

Thirty One Thousand Nine Hundred Five Dollars and 00/100

(Dollars) (\$ 31,905.00), lawful money of the

United States of America, for the payment of which well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, RH of Indiana, L.P. has agreed to construct in
Brighton Knoll, Section 5 Subdivision, in Noblesville, IN the following
improvements:

Wheeler and Wheeler Reconstruction

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the said Principal shall construct, or have constructed, the improvements herein described, and shall save the Obligee harmless from any loss, cost or damage by reason of its failure to complete said work, then this obligation shall be null and void, otherwise to remain in full force and effect, and the Surety, upon receipt of a resolution of the Obligee indicating that the improvements have not been installed or completed, will complete the improvements or pay to the Obligee such amount up to the Principal amount of this bond which will allow the Obligee to complete the improvements.

Upon approval by the Obligee, this instrument may be proportionately reduced as the public improvements are completed.

Signed, sealed and dated, this 16th day of July, 2013

RH of Indiana, L.P.

Principal

By:

Aspen American Insurance Company

Surety

By:

James I. Moore

Attorney-in-Fact



Aspen American Insurance Company
175 Capital Boulevard, Rocky Hill, CT 06067

POWER OF ATTORNEY

KNOW ALL PERSONS BY THESE PRESENTS, THAT Aspen American Insurance Company, a corporation duly organized under the laws of the State of Texas, and having its principal offices in Rocky Hill, Connecticut, (hereinafter the "Company") does hereby make, constitute and appoint: James I. Moore; Bonnie J. Kruse; Melissa A. Schmidt; Peggy Faust; Stephen T. Kazmer of Hub International its true and lawful Attorney(s)-in-Fact, with full power and authority hereby conferred to sign, execute and acknowledge on behalf of the Company, at any place within the United States, the following instrument(s) by his/her sole signature and act: any and all bonds, recognizances, and other writings obligatory in the nature of a bond, recognizance, or conditional undertaking and any and all consents incident thereto, and to bind the Company thereby as fully and to the same extent as if the same were signed by the duly authorized officers of the Company. All acts of said Attorney(s)-in-Fact done pursuant to the authority herein given are hereby ratified and confirmed.

This appointment is made under and by authority of the following Resolutions of the Board of Directors of said Company effective on April 7, 2011, which Resolutions are now in full force and effect;

VOTED: All Executive Officers of the Company (including the President, any Executive, Senior or Assistant Vice President, any Vice President, any Treasurer, Assistant Treasurer, or Secretary or Assistant Secretary) may appoint Attorneys-in-Fact to act for and on behalf of the Company to sign with the Company's name and seal with the Company's seal, bonds, recognizances, and other writings obligatory in the nature of a bond, recognizance, or conditional undertaking, and any of said Executive Officers at any time may remove any such appointee and revoke the power given him or her.

VOTED: The foregoing authority for certain classes of officers of the Company to appoint Attorneys-in-Fact by virtue of a Power of Attorney to sign and seal bonds, recognizances, and other writings obligatory in the nature of a bond, recognizance, or conditional undertaking, as well as to revoke any such Power of Attorney, is hereby granted specifically to the following individual officers of Aspen Specialty Insurance Management, Inc.:

Michael Toppi, Executive Vice President, Scott Sadowsky, Senior Vice President, Mathew Raino, Vice President, Scott Mandeville, Vice President and Ryan Field, Assistant Vice President.

This Power of Attorney may be signed and sealed by facsimile (mechanical or printed) under and by authority of the following Resolution voted by the Boards of Directors of Aspen American Insurance Company, which Resolution is now in full force and effect:

VOTED: That the signature of any of the Officers identified by title or specifically named above may be affixed by facsimile to any Power of Attorney for purposes only of executing and attesting bonds and undertakings and other writings obligatory in the nature thereof, and any and all consents incident thereto, and any such Power of Attorney or certificate bearing such facsimile signature or facsimile seal shall be valid and binding upon the Company. Any such power so executed and certified by such facsimile signature and/or facsimile seal shall be valid and binding upon the Company with respect to any bond or undertaking so executed.

IN WITNESS WHEREOF, Aspen American Insurance Company has caused this instrument to be signed and its corporate seal to be hereto affixed this 12th day of February, 2013.

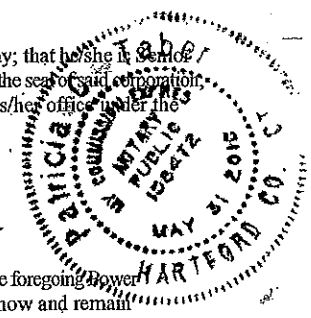
STATE OF CONNECTICUT
SS. ROCKY HILL
COUNTY OF HARTFORD

Aspen American Insurance Company

Scott Sadowsky, Senior Vice President

On this 12th day of February, 2013 before me personally came Scott Sadowsky to me known, who being by me duly sworn, did depose and say; that he/she is Senior Vice President, of Aspen American Insurance Company, the Company described in and which executed the above instrument; that he/she knows the seal of said corporation; that the seal affixed to the said instrument is such corporate seal; and that he/she executed the said instrument on behalf of the Company by authority of his/her office under the above Resolutions thereof.

Patricia C. Taber
Notary Public
My commission expires: May 31, 2016



CERTIFICATE

I, the undersigned, Scott Sadowsky of Aspen American Insurance Company, a stock corporation of the State of Texas, do hereby certify that the foregoing Power of Attorney remains in full force and has not been revoked; and furthermore, that the Resolutions of the Boards of Directors, as set forth above, are now and remain in full force and effect.

Given under my hand and seal of said Company, in Rocky Hill, Connecticut, this 16th day of July, 2013

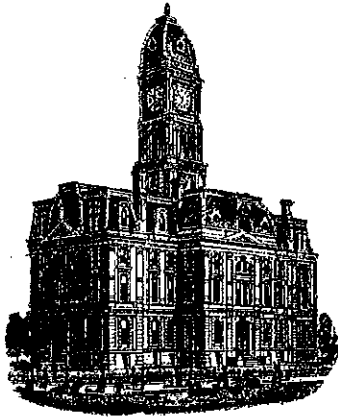
By:

Name: Scott Sadowsky, Senior Vice President



* For verification of the authenticity of the Power of Attorney you may call (860) 760-7728 or email: Patricia.Taber@aspen-insurance.com

KCW



SURVEYOR'S OFFICE
Hamilton County

Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

September 12, 2014

Re: Wheeler & Wheeler Drain – Brighton Knoll Sec. 5 Pond Expansion

Attached are as-builts, certificate of completion & compliance, and other information for the Brighton Knoll Section 5 Pond Expansion. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated August 20, 2013. The report was approved by the Board at the hearing held September 23, 2013. (See Drainage Board Minutes Book 15, Pages 163-164) The changes are as follows:

The open ditch was shortened from 238 feet to 221 feet.

It should be noted that this project removed 57 feet of 18" HDPE pipe that was installed with the Extension for Noblesville Schools. The length of the drain due to the changes described above is now **221 feet**.

The non-enforcement was approved by the Board at its September 23, 2013 meeting and was recorded under instrument #2014026704. The following surety was guaranteed by Aspen American Insurance Company and released by the Board on its September 22, 2014 meeting.

Bond-LC No: SU35792
Insured For: Wheeler & Wheeler Recon.
Amount: \$31,905.00
Issue Date: July 24, 2013

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,

A handwritten signature in black ink, appearing to read 'K. Ward', written over a horizontal line.

Kenton C. Ward, CFM
Hamilton County Surveyor

KCW/slm

CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

FILED


MAR 04 2014

Re: Brighton Knoll, Section 5

OFFICE OF HAMILTON COUNTY SURVEYOR

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.
5. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been correctly represented on the Record Drawings, Digital Record Drawings and the Structure Data Spreadsheet.

Signature:  Date: December 4, 2013

Type or Print Name: Curtis C. Huff

Business Address: Stoepelwerth & Associates, Inc.

7965 East 106th Street, Fishers, Indiana 46038

Telephone Number: (317) 849-5935

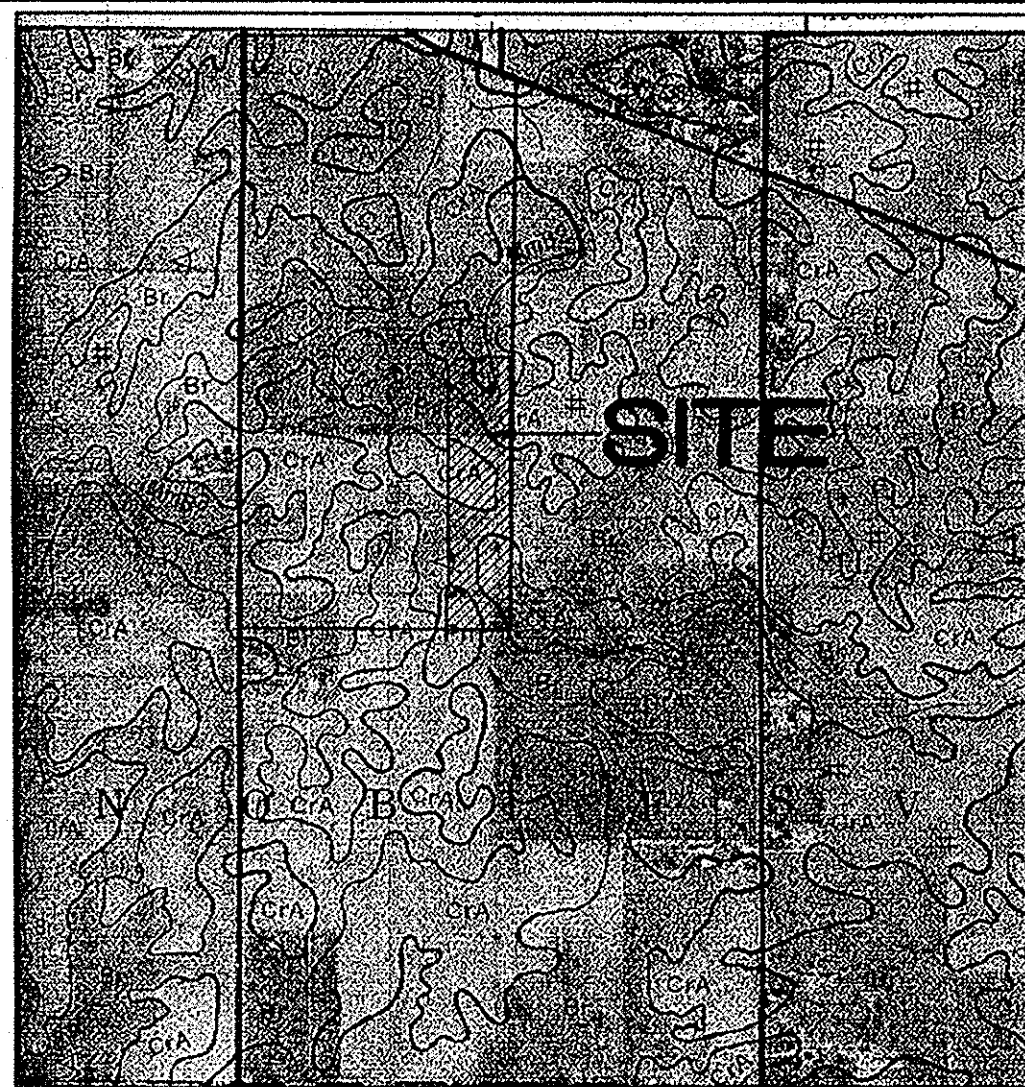


INDIANA REGISTRATION NUMBER

No. 80040348

BRIGHTON KNOLL SECTION 5

Developed by:
 RYLAND HOMES OF INDIANA, LP
 9025 NORTH RIVER ROAD, SUITE 100
 INDIANAPOLIS, INDIANA 46240
 (317)846-4200
 CONTACT PERSON: KENNY WINDLER

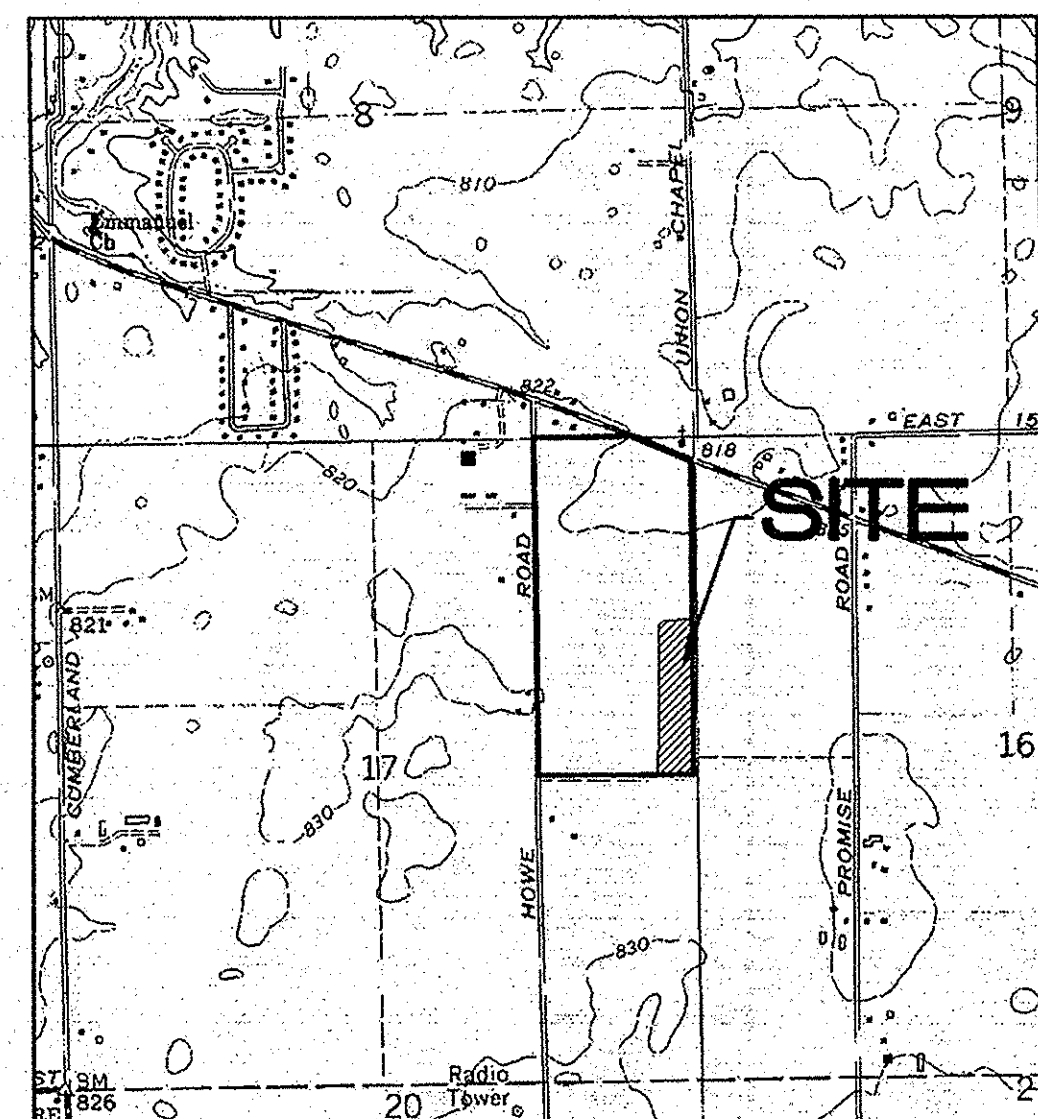


SOILS MAP

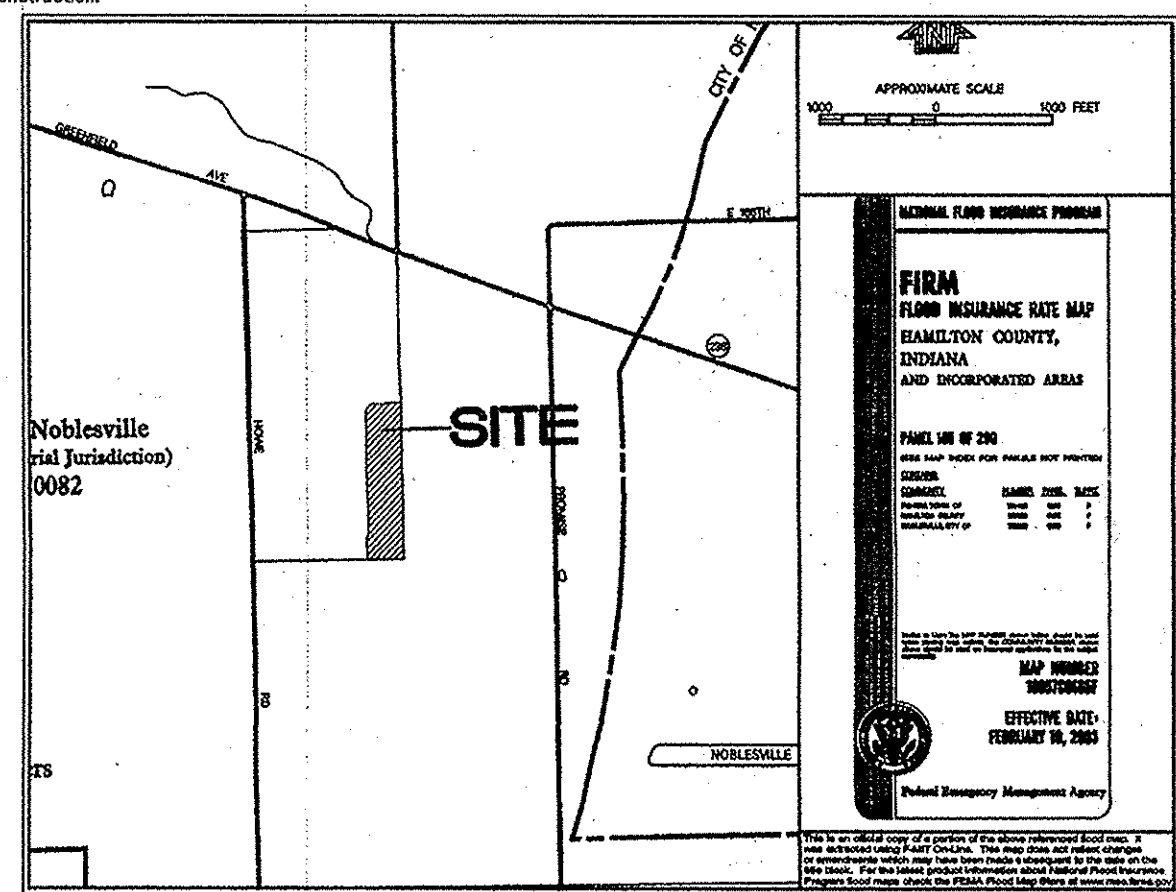
Cra Crosey silt loam, 0-3 percent slopes- this soil is light colored, silty in texture and on sloping uplands. It is deep and somewhat poorly drained with slow permeability. It has high available water for plant growth and medium organic matter content. The soil has compact till starting at a depth between 20-40 inches. The main soil features that affect urban development uses are seasonal high water table, moderate shrink-swell potential, high potential frost action and slow permeability.

Br Brookston silty clay loam- this soil is dark colored, silty in texture and on depressional uplands. It is deep and very poorly drained with moderate permeability. It has high available water for plant growth and high organic matter content. It has compact till starting at a depth of 40 to 60 inches. The main soil features that affect urban development uses are seasonal high water table, high potential frost action, moderate shrink-swell potential, moderate permeability and ponded surface water.

Mm2 Miami silt loam, 2-6 percent slopes- this soil is light colored, silty in texture and on sloping uplands. It is deep and well drained with moderate permeability. It has moderate available water for plant growth and a medium organic matter content. It has compact till starting at a depth between 20-40 inches. The main soil features that affect urban development uses are seasonal high water table, moderate potential frost action, moderate shrink-swell potential, moderately slow permeability, low strength and erosion during construction.



LOCATION MAP



INDEX

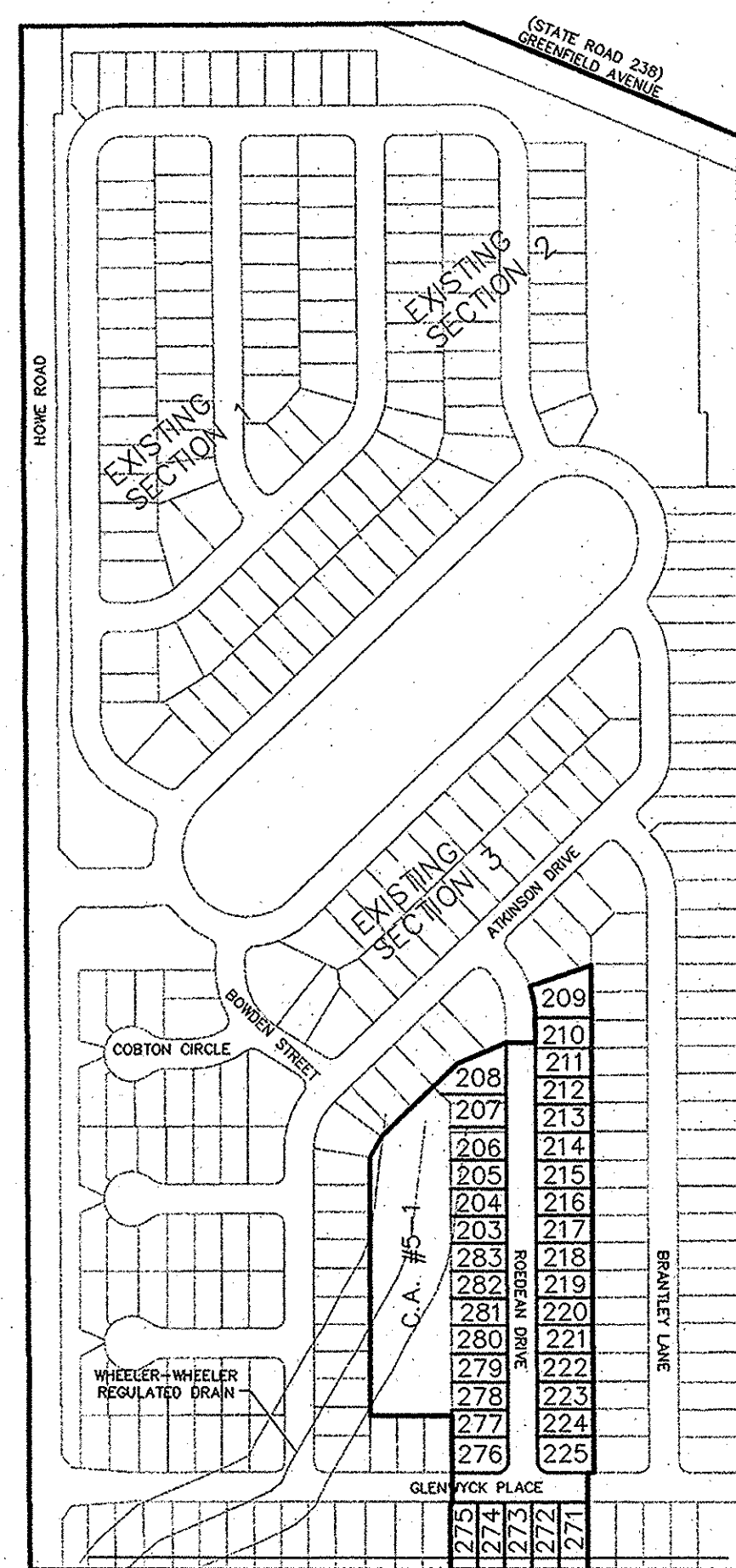
SHT	DESCRIPTION
C001	COVER SHEET
C100	TOPOGRAPHICAL SURVEY & DEMO PLAN
C200	SITE DEVELOPMENT PLAN
C201	EMERGENCY FLOOD ROUTING
C300	STORM WATER POLL. & PREV. PLAN
C301	STORM WATER POLL. & PREV. PLAN
C302	SEDIMENT & EROSION CONTROL PLAN
C303	STORM WATER POLL. & PREV. SPECS
C304	STORM WATER POLL. & PREV. DETAILS
C305	STORM WATER POLL. & PREV. DETAILS
C400	STREET PLAN & PROFILE
C401	STREET PLAN & PROFILE
C402	INTERSECTION DETAIL
C403	TRAFFIC PLAN
C500	SANITARY SEWER PLAN & PROFILE
C501	SANITARY SEWER PLAN & PROFILE
C600	STORM SEWER PLAN & PROFILES
C700	WATER PLAN
C701	WATER DETAIL

INDEX

SHT.	DESCRIPTION
1	DIRECTIONS FOR USE, & GENERAL NOTES
2	RIGHT-OF-WAY & UTILITY ESMT. GUIDELINES
3	PAVEMENT, CURB & SIDEWALK DETAILS AND NOTES
4	STORM SEWER BEDDING DETAILS AND NOTES
5	STORM SEWER MANHOLES, INLETS, & GENERAL NOTES
6	SANITARY SEWER BEDDING DETAILS AND NOTES
7	SANITARY SEWER DETAILS AND NOTES
8	MISCELLANEOUS DETAIL AND NOTES I
9	SIGN, DRIVEWAY, AND DECORATIVE SIDEWALK DETAILS
10	MISCELLANEOUS DETAILS AND NOTES III
11	STREET CUT DETAILS
12	STREET LIGHTING & TRAFFIC SIGNAL STANDARDS, DETAILS AND NOTES
13	LANDSCAPE PLANTING AND SEEDING DETAILS AND GENERAL NOTES

REVISIONS

SHT.	DESCRIPTION
ALL	REVISED PER TAC COMMENTS 6/5/13 ADG
ALL	ASBULTS 9/06/13 ADG



SCALE: 1"=300'

THERE ARE NO WETLANDS IMPACTED BY THE PROPOSED PLANS

UTILITIES

ELECTRIC	DUKE ENERGY 100 SO. MILL CREEK ROAD NOBLESVILLE, IN 46060
TELEPHONE	AMERITECH 5858 NORTH COLLEGE INDIANAPOLIS, IN 46220
GAS	VECTREN ENERGY 16000 ALLISONVILLE ROAD NOBLESVILLE, IN 46060
CABLE	COMCAST 9750 EAST 150TH STREET, SUITE 1600 NOBLESVILLE, IN 46060
WATER	INDIANA-AMERICAN WATER COMPANY 835 WAYNE STREET NOBLESVILLE, IN 46060
SANITARY	NOBLESVILLE WASTEWATER 197 WASHINGTON STREET NOBLESVILLE, IN 46060

EROSION CONTROL	
PERM SEEDING	1.15 Ac.
TEMP SEEDING	4.39 Ac.
EROS BLANKET	0.48 Ac.
TOTAL	6.02 Ac.

STREET INVENTORY (by segments)		
STREET	SEGMENT	CL LENGTH
ROEDEAN DRIVE	0+00 - 8+13.85	813.85
GLENWYCK PLACE	0+00 - 2+23.06	223.06
TOTAL		1,036.91

SANITARY SEWER STRUCTURE		
MANHOLE	DEPTH	NUMBER
TYPE "A"	6'-8"	1
TYPE "A"	8'-10"	1
	10'-12"	2
TOTAL		4

SANITARY SEWER PIPE		
PIPE	DEPTH	LENGTH
8" PVC SDR 35	8'-10"	68 L.F.
8" PVC SDR 35	10'-12"	172 L.F.
8" PVC SDR 26	12'-14"	158 L.F.
TOTAL		398 L.F.

STORM SEWER STRUCTURE		
INLET	DEPTH	NUMBER
TYPE "A"	4'-6"	4
TYPE "C"	2'-4"	1
TOTAL		5

STORM SEWER PIPE		
PIPE	DEPTH	LENGTH
12" RCP Type 3	2'-4"	103 L.F.
12" RCP Type 3	4'-6"	32 L.F.
15" RCP Type 3	4'-6"	172 L.F.
18" RCP Type 3	4'-6"	144 L.F.
TOTAL		451 L.F.

SUB-SURFACE DRAIN		
PIPE	DEPTH	LENGTH
4" HDPE Type SSD	2'-4"	422 L.F.
6" HDPE Type SSD	2'-4"	253 L.F.
TOTAL		675 L.F.

SIDEWALK INVENTORY	
SIZE	LENGTH
FULLY DEVELOPED	8,040 L.F.

TYPE	LENGTH
Roll Curbs	1,998 L.F.
Chimneys	0 L.F.

REGULARITY SIGNS	
TYPE	NUMBER
STOP SIGN	1
STREET SIGN	1
SPEED LIMIT SIGN	2
TOTAL	4

STREET LIGHTING	
TYPE	NUMBER
City Std. Decorative	1

RECORD DRAWING

Dennis D. Olmstead
 Registered Land Surveyor
 No. 900012

9/26/2013

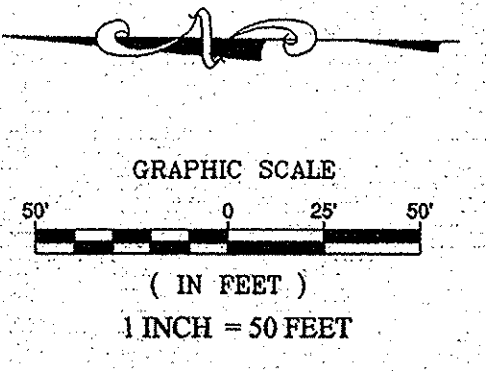
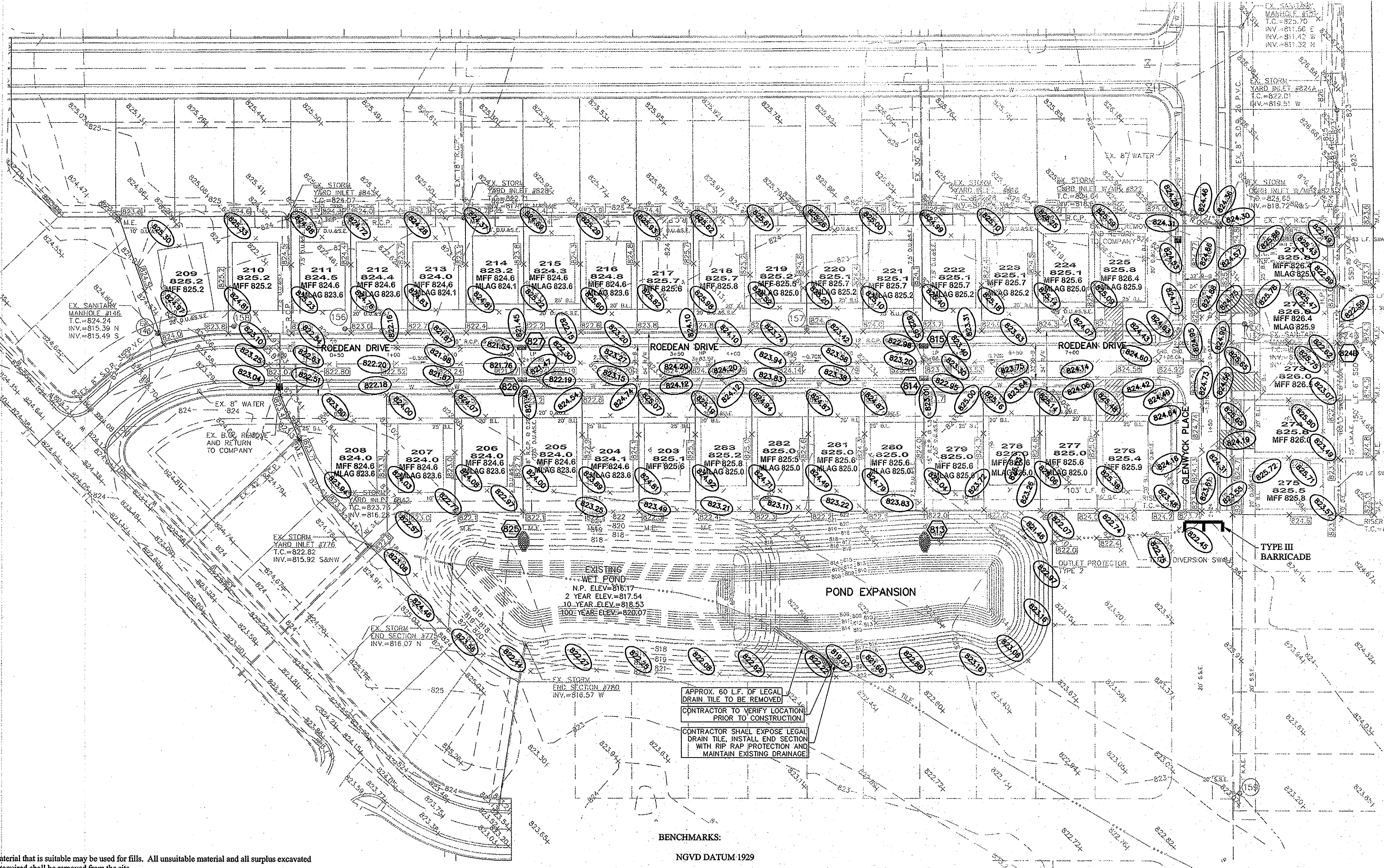


PLANS PREPARED BY:
 STOEPPELWERTH & ASSOCIATES, INC.
 CONSULTING ENGINEERS & LAND SURVEYORS
 7965 E. 106TH STREET
 FISHERS, INDIANA 46038
 PHONE: (317)-849-5935
 FAX: (317)-849-5942
 CONTACT PERSON: BRETT A. HUFF
 EMAIL: BHUFF@STOEPPELWERTH.COM

PLANS CERTIFIED BY:

David J. Stoepfelwirth 5/17/13
 DAVID J. STOEPPELWERTH
 PROFESSIONAL LAND SURVEYOR
 No. 19358
 STATE OF INDIANA





- NOTES:
- THIS SUBDIVISION MEETS A.D.A. REQUIREMENTS, AND SUBDIVISION CODE STANDARDS.
 - ALL OFF-SITE AND EXISTING DRAIN TILES SHALL BE TIED INTO THE PROPOSED STORM SYSTEM OF THIS SECTION (WHERE APPLICABLE).
 - ALL PADS SHOULD BE TESTED TO ASSURE A COMPACTION OF AT LEAST 95% OF THE MAXIMUM DRY DENSITY USING THE STANDARD PROCTOR TEST METHOD.
 - LOWEST OPENINGS OF HOMES MUST BE AT LEAST 2 FEET ABOVE THE 100 YEAR POOL ELEVATION OF THE NEAREST PON.
 - CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ONSITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
 - IF EXISTING FIELD TILES ARE ENCOUNTERED, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERPETUATE THESE FIELD TILES INTO THE PROPOSED STORM SEWER SYSTEM. CONTRACTOR SHALL COORDINATE THESE CONNECTIONS WITH THE HAMILTON COUNTY'S SURVEYOR'S OFFICE AT 317-776-8495.
 - CONTRACTOR SHALL STAMP THE LETTER 'S' IN THE ROAD PERPENDICULAR TO THE LATERAL MARKER.
 - IT IS RECOMMENDED THAT ANY BASEMENT FLOOR IS AT LEAST A FOOT ABOVE THE NORMAL POOL ELEVATION TO AVOID THE OVERUSE OF SUMP PUMPS AND POTENTIAL FREQUENT FLOODING OF BASEMENTS.
 - SEE NOBLESVILLE STANDARD DETAILS (SHEET 5) FOR SWALE SPECIFICATIONS.
 - SEE NOBLESVILLE STANDARD DETAILS (SHEET 10) FOR LATERAL TO THE REAR YARD SWALE SPECIFICATIONS.
 - THE BUILDINGS LOWEST ENTRY ELEVATION THAT IS ADJACENT TO AND FACING A ROAD SHALL BE A MINIMUM OF 15" ABOVE THE ROAD ELEVATION.

- LEGEND**
- EXISTING CONTOUR
 - EXISTING SANITARY SEWER
 - EXISTING STORM SEWER
 - PROPOSED GRADE
 - PROPOSED CONTOUR
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER
 - PROPOSED WATER LINE
 - PROPOSED SWALE
 - PROPOSED 5' SIDEWALK (BY HOME BUILDER) (DEVELOPER SHALL INSTALL SIDEWALKS ALONG ALL COMMON AREAS)
 - LOT NUMBER PAD ELEVATION
 - PROPOSED 6" UNDERDRAINS UNDER CURBS
 - MFF 790.5 MINIMUM FINISH FLOOR ELEVATION IS BASED OFF OF THE BELOW
 - (1) FOOT ABOVE THE NEAREST UPSTREAM OR DOWNSTREAM SANITARY MANHOLE, WHICHEVER IS LOWEST.
 - 15" (1.25') ABOVE THE ROAD ELEVATION
 - 6" (0.5') ABOVE THE MLAG
 - MLAG 795.5 MINIMUM LOWEST ADJACENT GRADE (FLOOD PROTECTION)
 - M.E. DENOTES MATCH EXISTING GRADE

- EARTHWORK:**
- EXCAVATION**
 - Excavated material that is suitable may be used for fills. All unsuitable material and all surplus excavated material not required shall be removed from the site.
 - Provide and place any additional fill material from offsite as may be necessary to produce the grades required on plans. Fill obtained from offsite shall be of quality as specified for fills herein and the source approved by the Developer. It will be the responsibility of the Contractor for any costs for fill needed.
 - REMOVAL OF TREES**
 - All trees and stumps shall be removed from areas to be occupied by a road surface or structure area. Trees and stumps shall not be buried on site.
 - PROTECTION OF TREES**
 - The Contractor shall, at the direction of the Developer, endeavor to save and protect trees of value and worth which do not impair construction of improvements as designed.
 - In the event cut or fill exceeds 0.5 foot over the root area, the Developer shall be consulted with respect to protective measure to be taken, if any, to preserve such trees.
 - REMOVAL OF TOPSOIL**
 - All topsoil shall be removed from all areas beneath future pavements or building. Topsoil removal shall be to a minimum depth of 6 inches or to the depth indicated in the geotechnical report provided by the Developer to be excavated or filled. Topsoil should be stored at a location where it will not interfere with construction operations. The topsoil shall be free of debris and stones.
 - UTILITIES**
 - Rules and regulation governing the respective utility shall be observed in executing all work under this section.
 - It shall be the responsibility of the Contractor to determine the location of existing underground utilities 2 working days prior to commencing work. For utility locations to be marked call Toll Free 1-800-382-5544 within Indiana or 1-800-428-5200 outside Indiana.
 - SITE GRADING**
 - Do all cutting, filling, compacting of fills and rough grading required to bring entire project area to subgrade as shown on the drawing.
 - The tolerance for paved areas shall not exceed 0.05 feet above established subgrade. All other areas shall not exceed 0.05 feet plus or minus the established grade. Provide roundings at top and bottom of banks and other breaks in grade.
 - The Engineer shall be notified when the Contractor has reached the tolerance as stated above, so that field measurements and spot elevations can be verified by the Engineer. The Contractor shall not remove his equipment from the site until the Engineer has verified that the job meets the above tolerance.

BENCHMARKS:
 NGVD DATUM 1929
 BENCHMARK:
 P257 USGS DISK IN CONCRETE EAST OF CUMBERLAND ROAD
 APPROX. 3000' SOUTH OF S.R. 238
 ELEV. = 820.23

TBM#1
 RRS IN WEST SIDE PWP #198.901, 100± NORTH OF S.R. 238 ON EAST SIDE OF UNION CHAPEL ROAD
 ELEV. = 818.95

TBM#2
 TOP OF CASTING OF A STORM MANHOLE, WEST SIDE OF HOWE ROAD AT APPROX. NORTH LINE OF PROP.
 ELEV. = 818.21

TBM#3
 TOP OF 3/4" REBAR (CONTROL POINT) SET AT THE SOUTH EAST CORNER OF TRACT.
 ELEV. = 826.71

This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.
 Entry Date: 9-20-14
 Entered By: SLM

STRUCTURE TABLE

STR.#	TYPE	INLET C.	CASTING TYPE	DIA. IN	DIR.	INV. IN	DIA. OUT	DIR.	INV. OUT	SLOPE
813	END SECTION			15	E	816.62				
814	DBL CURB INLET	823.36	R-3501	12	E		15	W	818.45	1.34%
815	DBL CURB INLET	823.41	R-3501-TR/TL				12	W	818.98	0.75%
824B	YARD INLET	822.61						E	819.95	0.62%
825	END SECTION			18	E	816.69				
826	DBL CURB INLET	821.91	R-3501-TR/TL	15	E	817.25	18	W	817.90	0.29%
	DBL CURB INLET	821.91	R-3501-TR/TL				15	W	817.41	

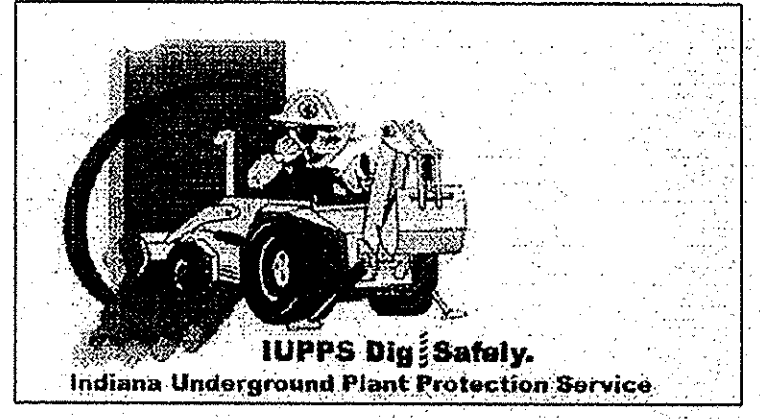
RECORD DRAWING

Dennis D. Olmstead
 Registered Land Surveyor
 No. 900012
 9/24/2013



NOTE TO HOME BUILDER:
 REAR YARD SLOPES SHALL NOT EXCEED 3:1 SLOPE FROM MIDDLE OF PAD TO SWALE. NO HOME OR HOME ADDITION SUCH AS PATIOS, FIRE PLACE, STOOP (ETC.) SHALL BE PLACE BEYOND THE EXTENT OF THE PAD ON LOTS OR IN AREAS WHERE A 3:1 SLOPE CANNOT BE MAINTAINED TO REAR SWALE.

CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ONSITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.



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 Know what's below.
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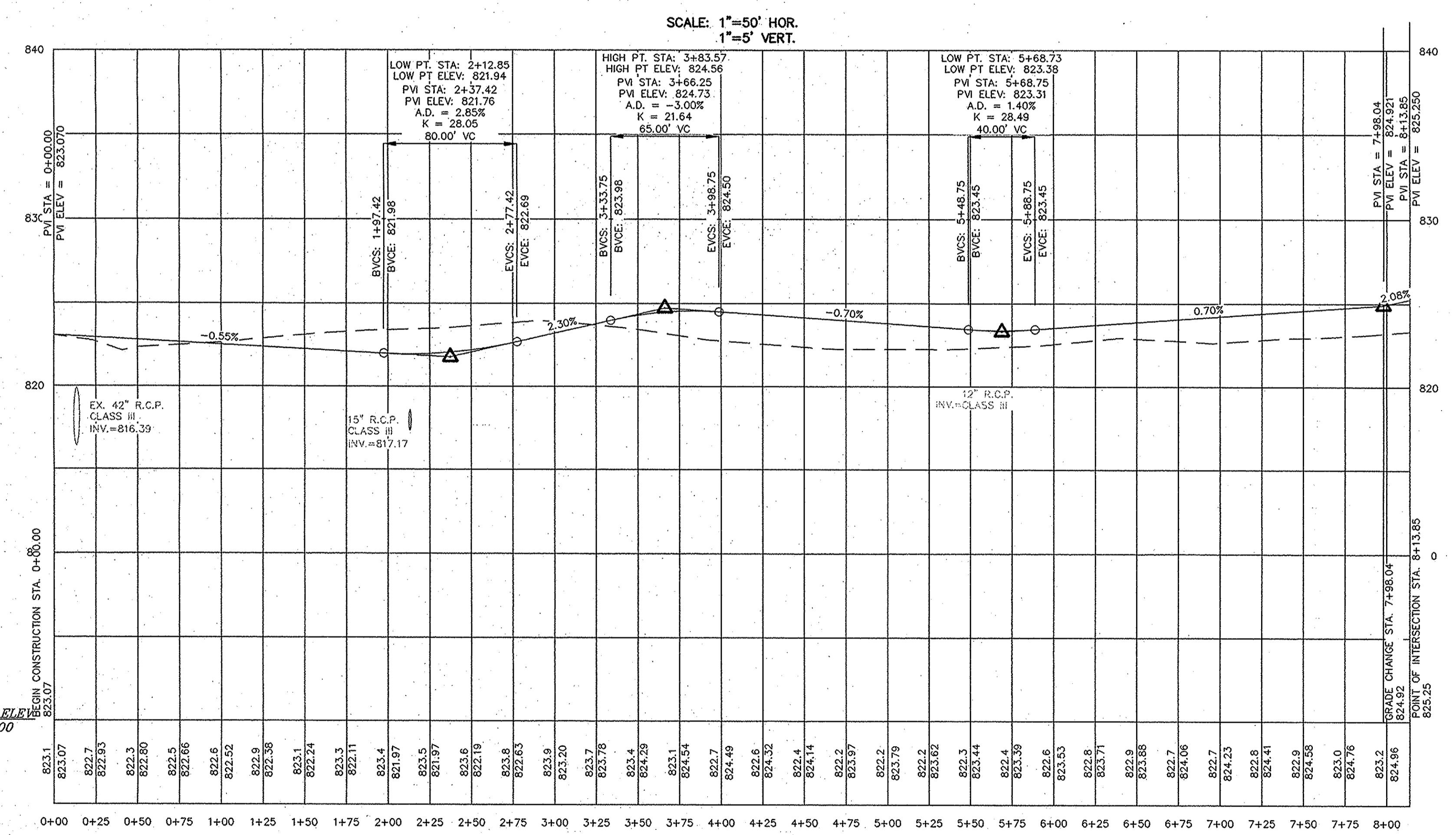
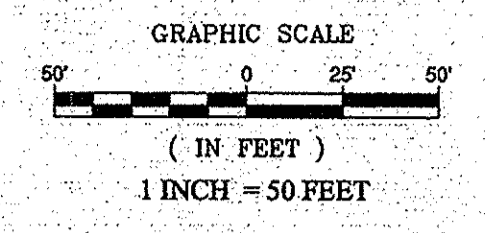
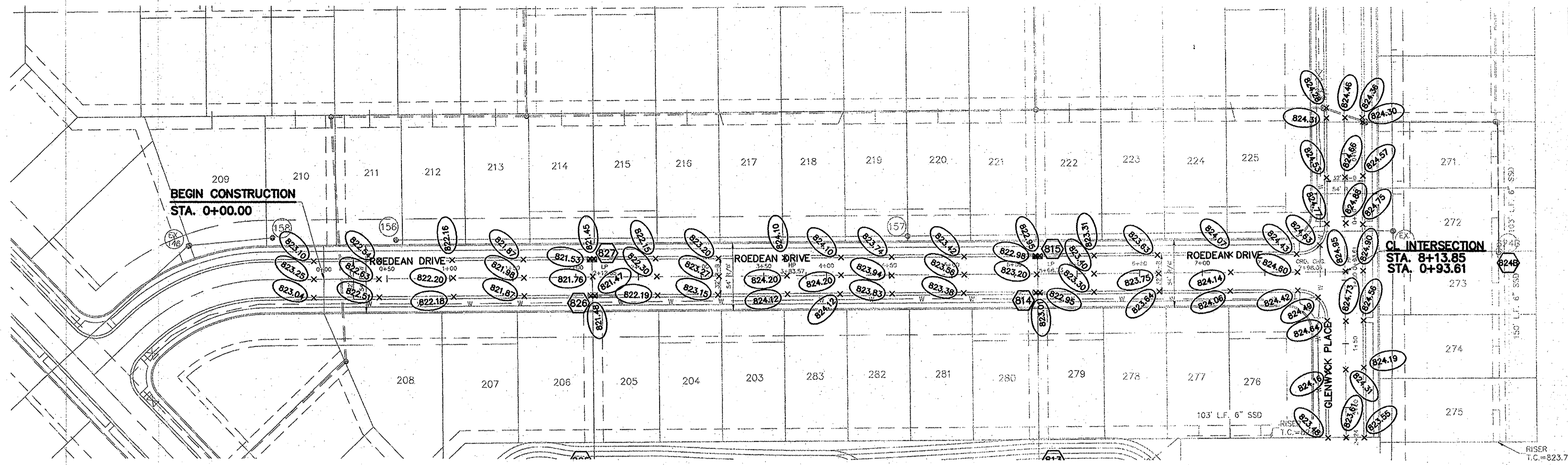
SITE DEVELOPMENT PLAN
BRIGHTON KNOLL
SECTION 5

HAMILTON, INDIANA
 NOBLESVILLE

REGISTERED PROFESSIONAL ENGINEER
 No. 19358
 STATE OF INDIANA
 David J. Stoeppele
 CERTIFIED: 04/22/2013

DATE: 9/24/13
 REVISIONS: PER COMMENTS
 MARK: []

DRAWN BY: ADG
 CHECKED BY: BAH
 SHEET NO: C200
 S & A JOB NO: 4340055



ROEDEAU DRIVE

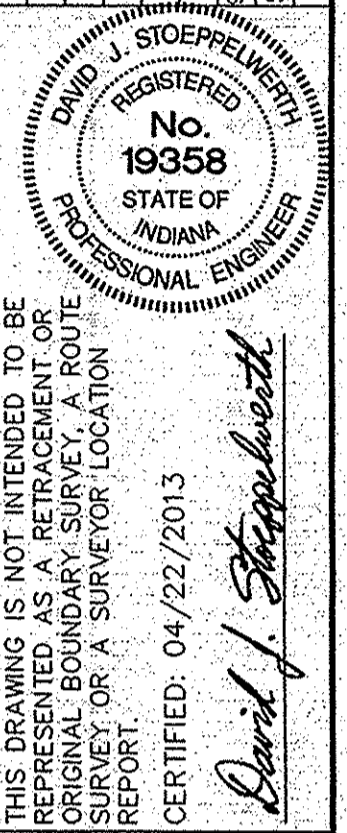
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Dennis D. Olmstead
Registered Land Surveyor
No. 900012
9/26/2013



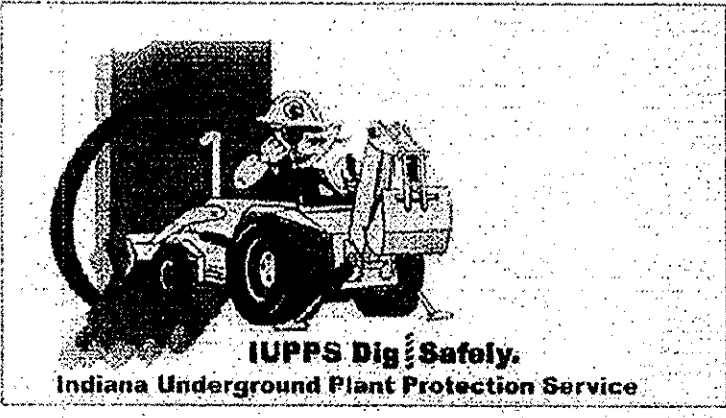
STREET PLAN & PROFILE
BRIGHTON KNOLL
SECTION 5

HAMILTON, INDIANA
NOBLESVILLE



THIS DRAWING IS NOT INTENDED TO BE ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY, OR A SURVEYOR LOCATION REPORT.
CERTIFIED: 04/22/2013
David J. Stappeworth

DATE	MARK	REVISIONS
5/29/13		AS BUILT
5/29/13		REWIS PER COMMENTS
		BY: KJM
		KRG

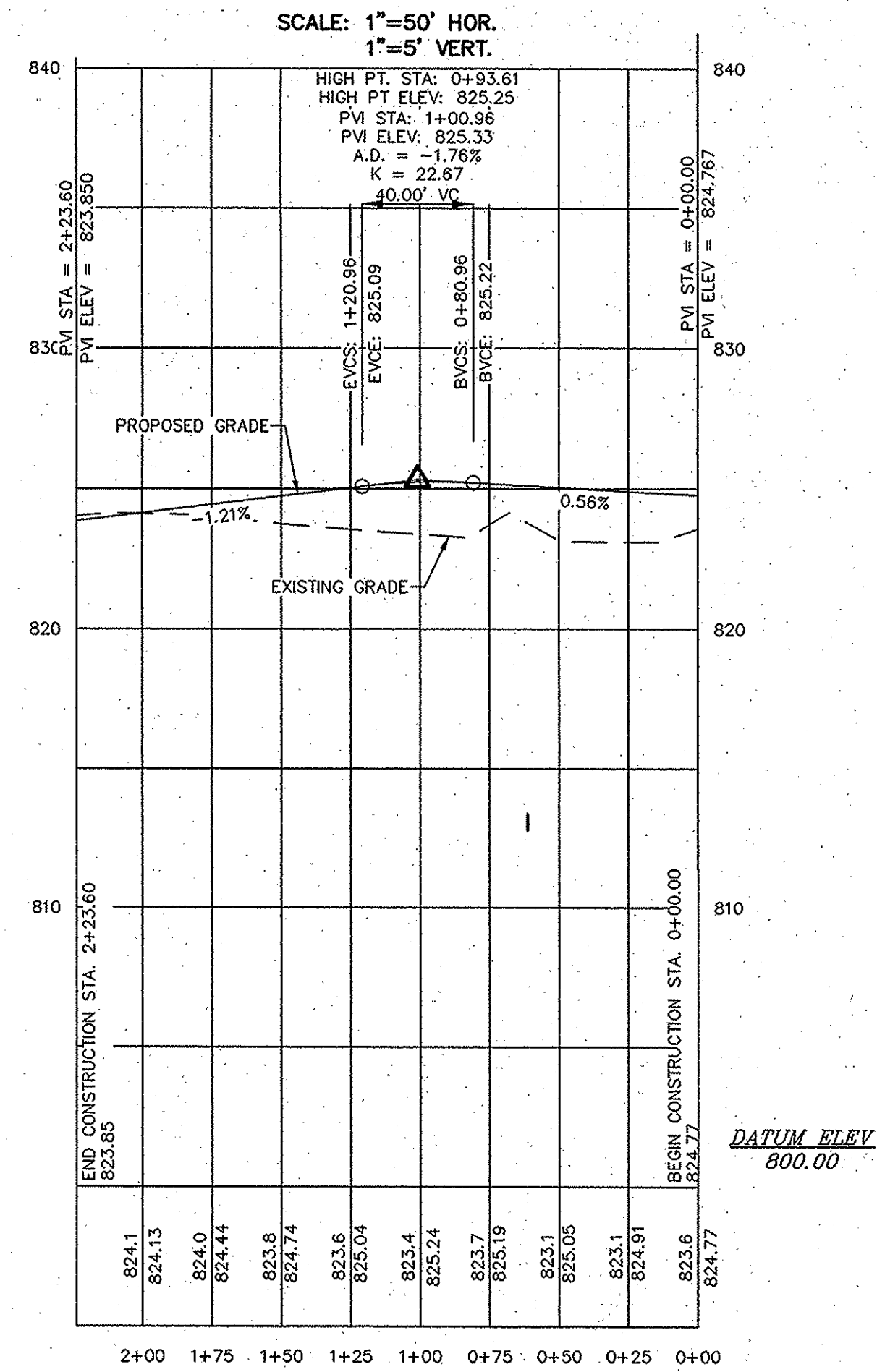
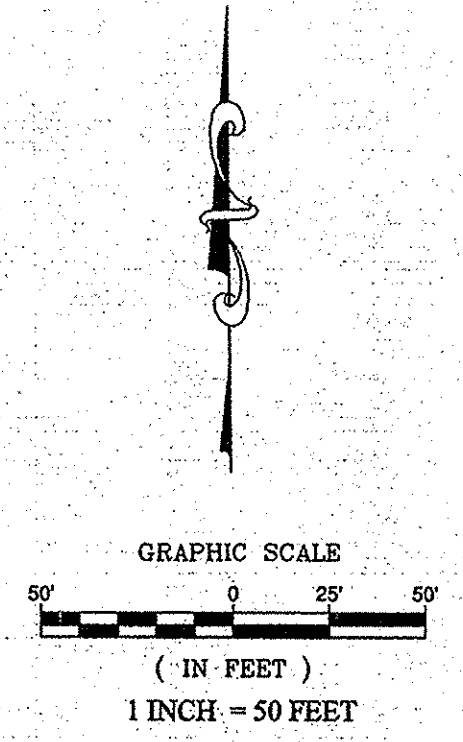
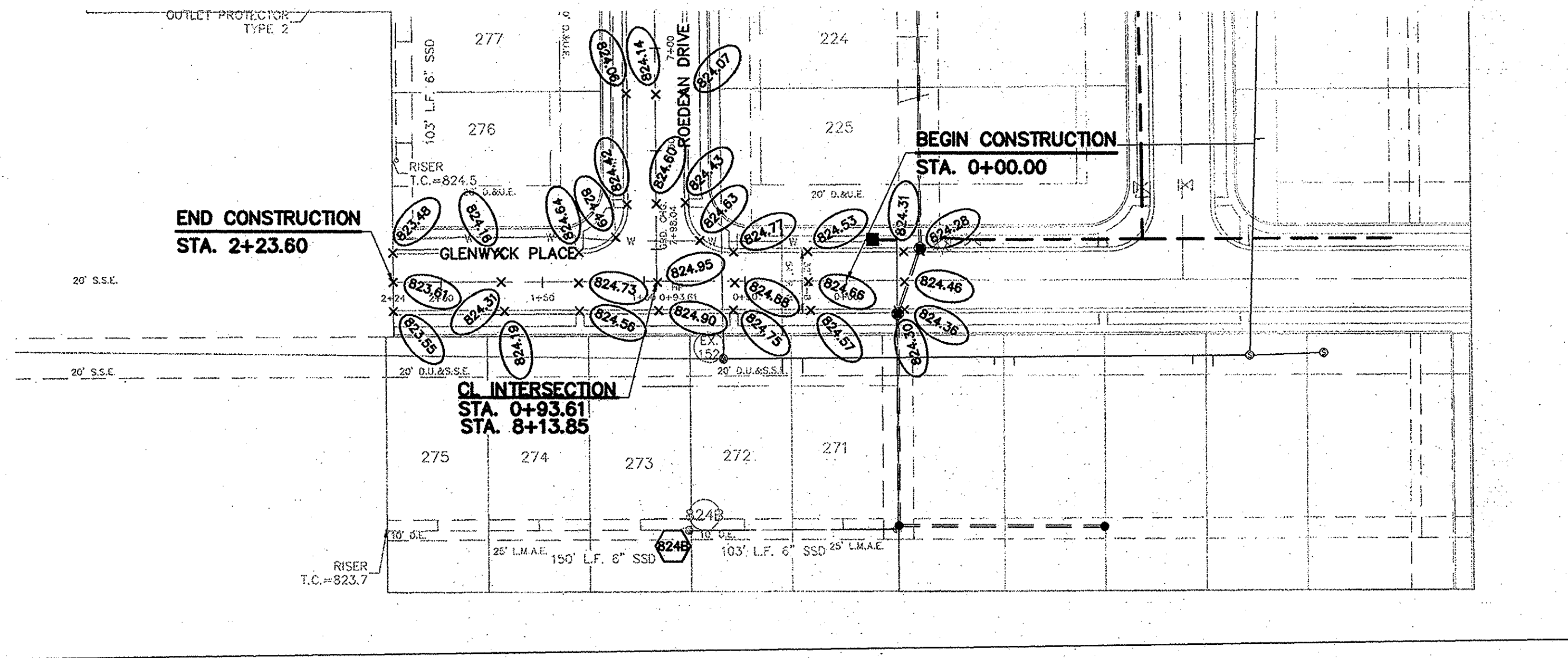


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CHECKED BY: BAH
SHEET NO. C400
S & A JOB NO. 4340055

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GLENWYCK PLACE

RECORD DRAWING

D.D.O.
Dennis D. Olmstead
Registered Land Surveyor
No. 900012

9/24/2013



STOEPPELWERTH

STREET PLAN & PROFILE

BRIGHTON KNOLL
SECTION 5

HAMILTON, INDIANA

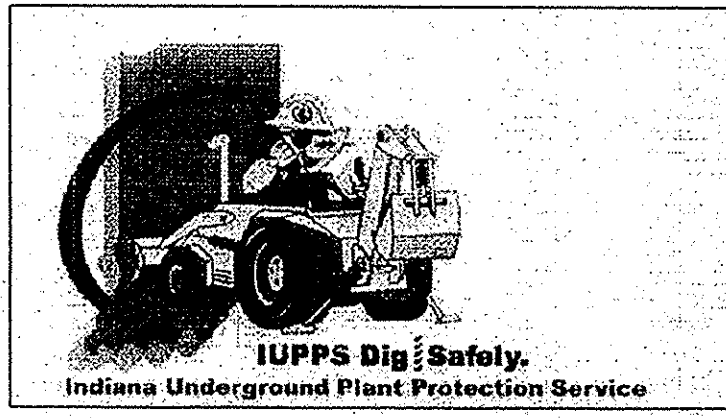
NOBLESVILLE

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CERTIFIED: 04/22/2013
David J. Stoepfelwerth
David J. Stoepfelwerth
REGISTERED PROFESSIONAL ENGINEER
No. 19358
STATE OF INDIANA

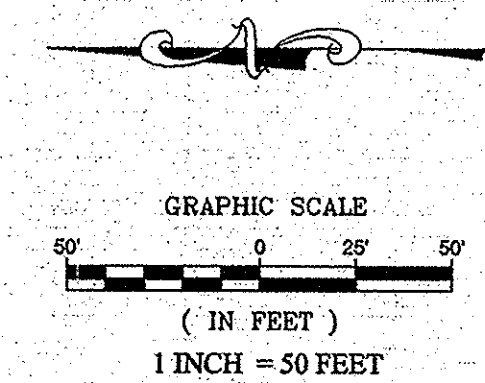
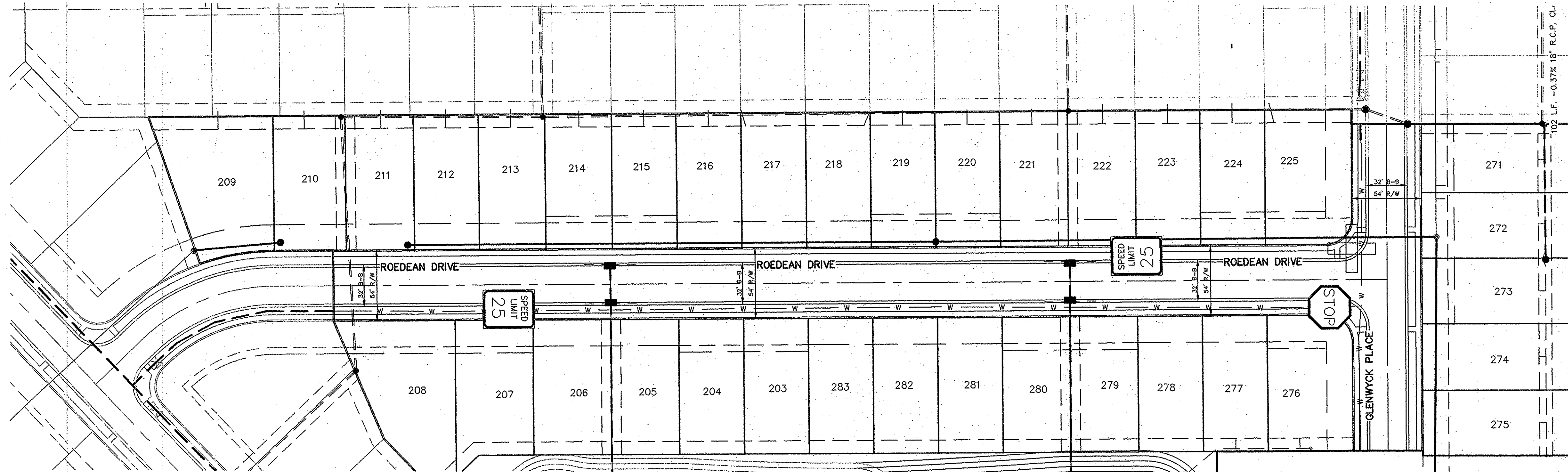
DATE	MARK	REVISIONS	BY
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7/26/13		AS BUILTS	KJM

DRAWN BY: ADG
CHECKED BY: BAH
SHEET NO. C401
S & A JOB NO. 43400SS

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- LEGEND**
- ROAD NAME SIGN - 1 (D3)
 - STOP SIGN - 1 (R1-1)
 - SPEED LIMIT SIGN - 2 (R2-1)
 - STREET LIGHT - 1

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR ORIGINAL FOUNDATION SURVEY ROUTE REPORT OR A SURVEYOR LOCATION REPORT.

CERTIFIED: 04/22/2013

David J. Stoepelwerth

REGISTERED PROFESSIONAL ENGINEER
No. 19358
STATE OF INDIANA

DATE	MARK	REVISIONS
AS BUILT	7/26/13	REVISED PER COMMENTS
KJAM	KRG	BY

Post Top Luminaire - Acorn Shaped

This luminaire is referred to as an acorn because it is shaped similar to the small acorn that is produced by the oak tree.

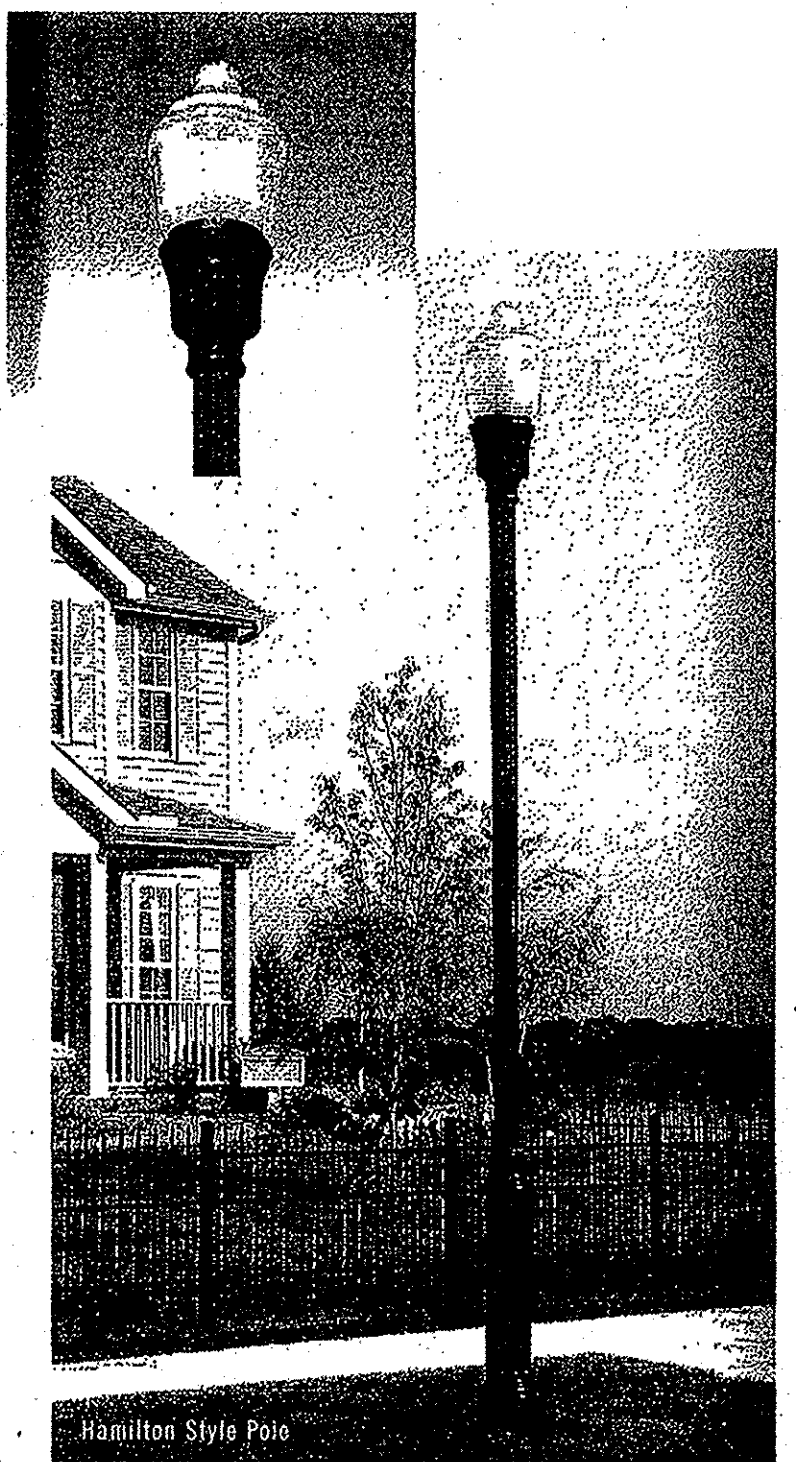
This acorn shaped luminaire features a glass globe with prismatic ridges for precision photometrics and efficient lighting pattern output.

When this luminaire is mounted on a decorative pole it suggests an elegant and historical era that enhances the theme of a lighting area during both the daytime and nighttime hours.

Today this bygone era can be recaptured with the convenience of electricity and automatic controls for the lighting hours. Current technology allows the lighting output to be more energy efficient, reliable and effective than it has ever been.

The poles used for mounting this luminaire resemble the styles of the past...while producing an aesthetic appearance with practicality and durability.

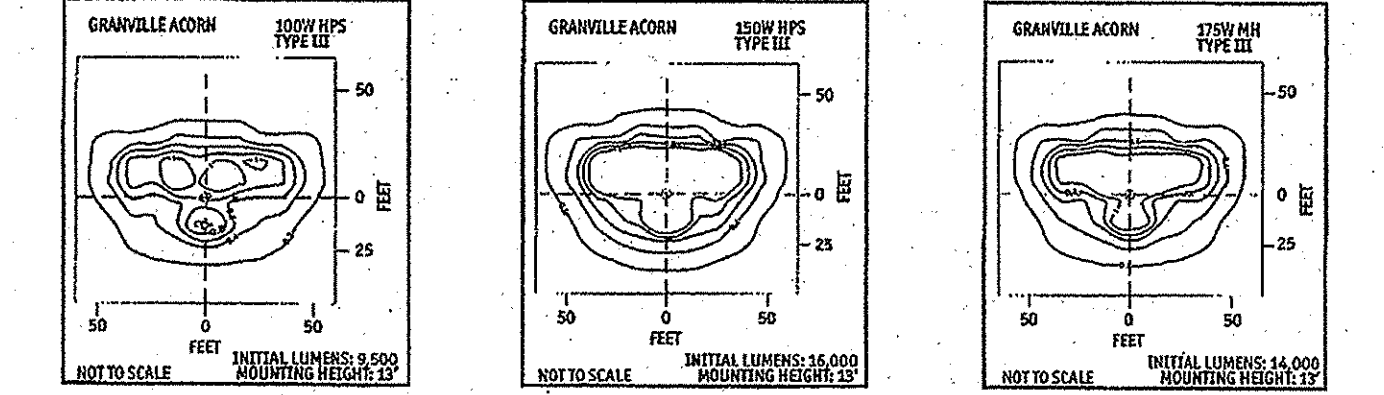
Two different anchor base, foundation mounted, decorative aluminum poles are being offered for this luminaire. Both poles have fluted shafts but each has a unique shape on the lower portion. They each have a 12 foot shaft length which results in a 13 foot luminaire mounting height from ground level.



Post Top Luminaire - Acorn Shaped

Application
This post top mounted luminaire is used in residential subdivisions, apartment or condominium complexes, downtown pedestrian areas, city parks, river walks, etc.

Photometrics
Lighting Output Distribution or Pattern for the Acorn Luminaire- The pole is located where the two center lines intersect. HPS or High Pressure Sodium provides a soft golden yellow light while the MH or Metal Halide provides a white light source.



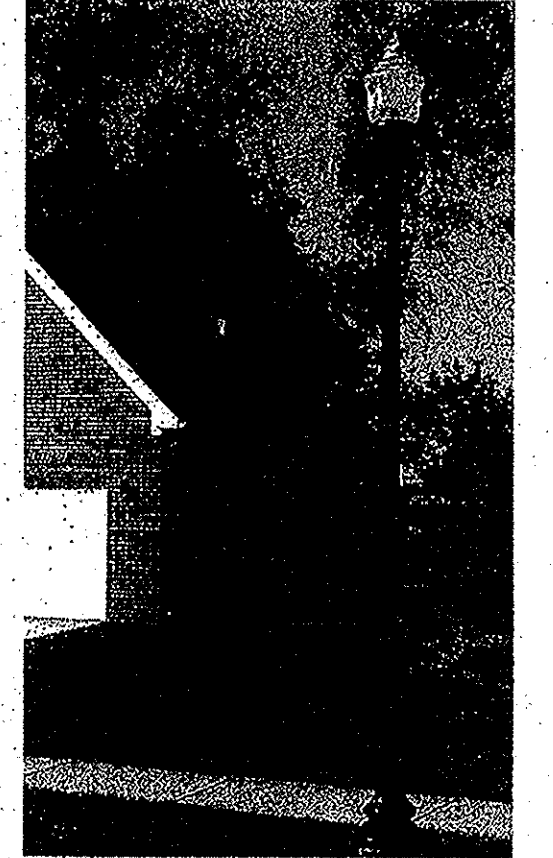
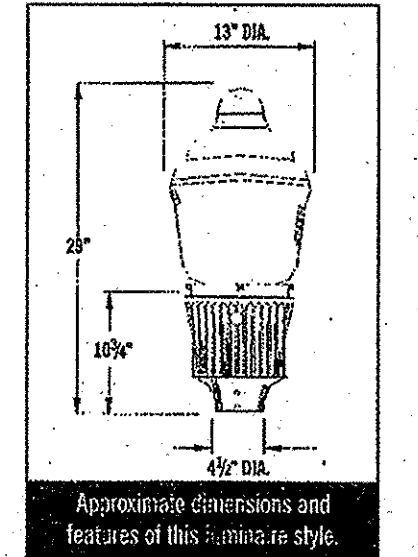
Wattage - Voltage-120V
High Pressure Sodium - 100W, 150W
Metal Halide-175W

Luminaire Construction
This acorn luminaire has cast aluminum housing with black, polyester, powder coat finish. The pull out power module, holds the ballast, terminal block, and plug-in starter, along with the hidden twistlock photocell, which uses a small window to measure outside light for off and on control.

Photometrics
The most common photometric pattern for this luminaire is Type III and this is considered a semi-cutoff of. (See above photometric patterns for examples.)

Mounting
This luminaire mounts directly onto a three-inch diameter tenon at the top of the pole.

Installation
This lighting equipment is installed with underground conductor and electrical facilities.



STREET LIGHTING

Street Lighting is Required on All Streets. Street Lights, on New Local Streets Being Constructed With a Plot, Shall Be Shown On The Lighting Plan; At Entrances and Intersections, Within Call-Be-Secs And At Specified Locations Requiring Additional Lighting. Lighting Plans Shall Be Submitted To The Noblesville Department of Engineering For Approval.

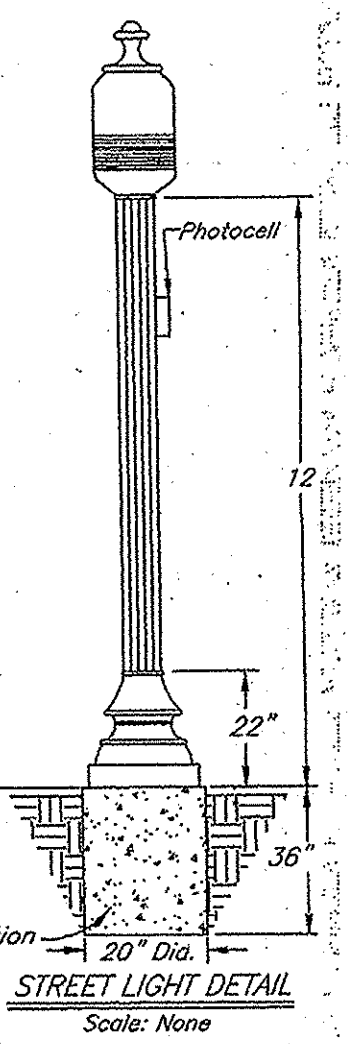
It Shall Be The Responsibility Of The Developer To Provide And Install All Street Lightings.

All Lighting Plans, Submitted For Approval, Shall Include, But Not Be Limited To The Following:

- a.) Location Of Each Light Standard And The Service Point Or Junction Box Serving Each Luminaire.
- b.) Plan Notations Showing Conduit And Wire Size For Each Conduit Run.
- c.) Manufacturer's Catalog Cuts And Specifications For Light Fixtures, Appurtenances, Service Points And/Or Junction Box.
- d.) Paint Color-Specimen Samples.

Copper Wire Shall Be Placed In 4-Inch Diameter PVC Sch-80 Conduit For All Runs Under Pavement.

Street Lights Style Shall Be The Washington, As Manufactured By Hinkley Lighting, Or Noblesville Approved Equal. Luminaires Style Shall Be Village Series (Environmentally Friendly), As Manufactured By Hinkley Lighting, Or Noblesville Approved Equal.



- Materials**
- Style: Village Series, Environmentally Friendly.
 - Height: 34' 7/8"
 - Base: 15' 3/4"
 - Material: 319 Alloy Cast Aluminum, Deep Hemlock (6348-5) Porter Paint.
 - Base: FR3343 Refractor Style TYP III or V
 - Model: FR3318-2 (Up Light Shield)
 - Wattage: 150-Watt High Pressure Sodium.
 - Fixture: Multi Top.
 - Color: Med Base, 4K Rotod.
- Poles**
- Style: The Washington
 - Pole: 5" Dia. 0.125-Inch Thick Extruded A
 - Base: 16' 3/4" Dia. Heavy Cast Aluminum.
 - Tenon: 3" O.D. x 3"
 - Access Door: 3" x 3" x 7" Secured With Tamper-Proof Screws.
 - Photo Cell: 70203 Supplied With Easy Access L

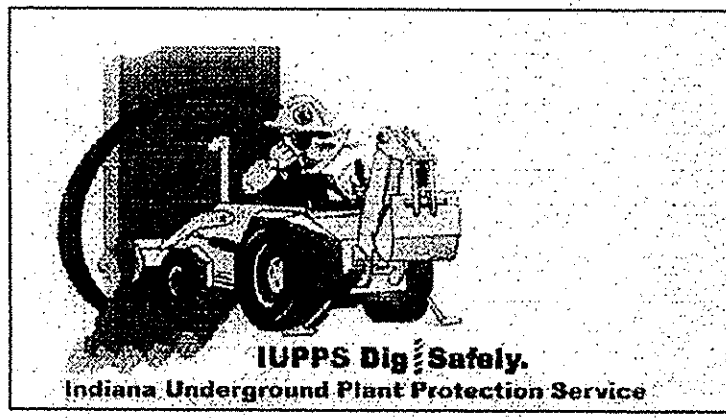
- Anchor Bolt Bases Are Required For Each Light Pole. Three 5/8" Dia. Galvanized J-Bolts Shall Be Tightly Secured For Each Light Base.
- Pole, Base And Final Shall Receive 1-1/2 Mil. Electrostatically-Applied Polyester Powder Coat To Match Color Deep Hemlock (6348-5), As Manufactured By Porter Paints. The Finish Shall Be Smooth. See Note 2.d.
- The Lighting Shall Be Placed Away From The Street On The Back Side Of The Sidewalk Or No Closer Than 9 Feet From The Back Of The Curb, Where Rollover

RECORD DRAWING

D.D.O.
Dennis D. Olmstead
Registered Land Surveyor
No. 900012
9/26/2013



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phone: 317.849.5933 fax: 317.849.5942

TRAFFIC PLAN

BRIGHTON KNOLL

SECTION 5

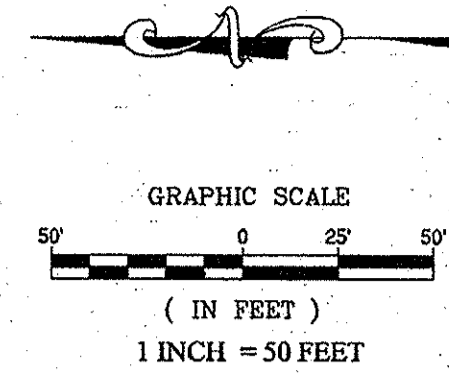
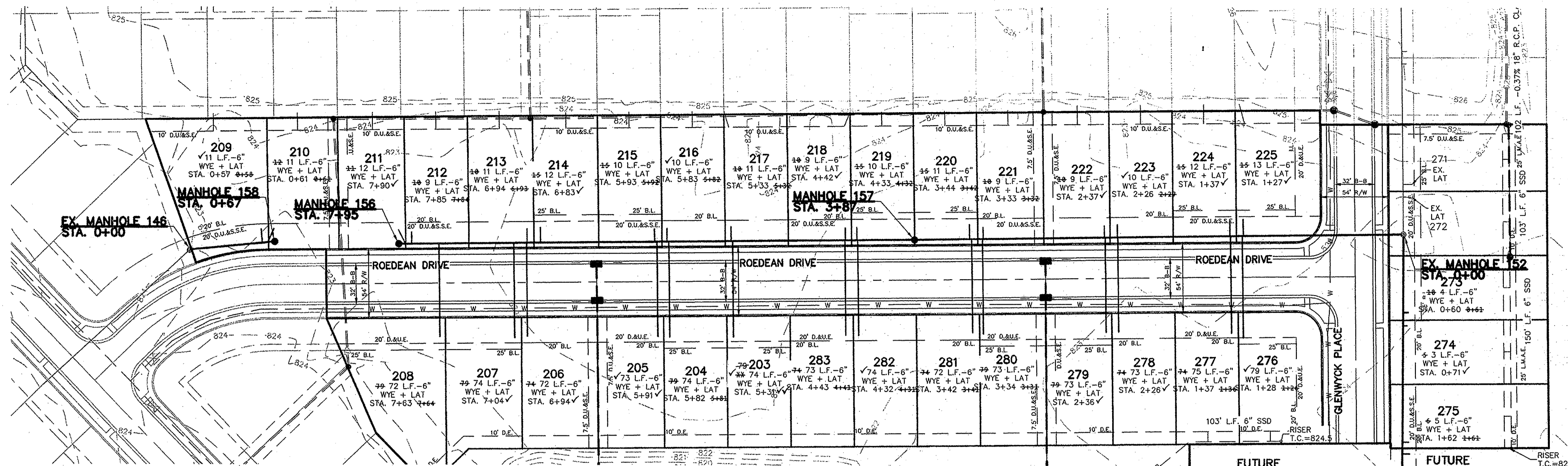
HAMILTON, INDIANA

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SHEET NO. **C403**

S & A JOB NO. 4340055

S:\4340055\4340055\DWG\C403 TRAFFIC PLAN.dwg, 9/26/2013 3:05:44 PM, kmitchell, 1:1



NOTES


FULL DEPTH GRANULAR BACKFILL SHALL BE INSTALLED PER NOBLESVILLE STANDARDS. SEE SHEET 6 OF 16 OF THE CITY OF NOBLESVILLE DETAILS FOR SPECIFICATIONS.

MIN. SLOPES PER THE TEN STATE STANDARDS SHALL PREVAIL IN ALL CASES.

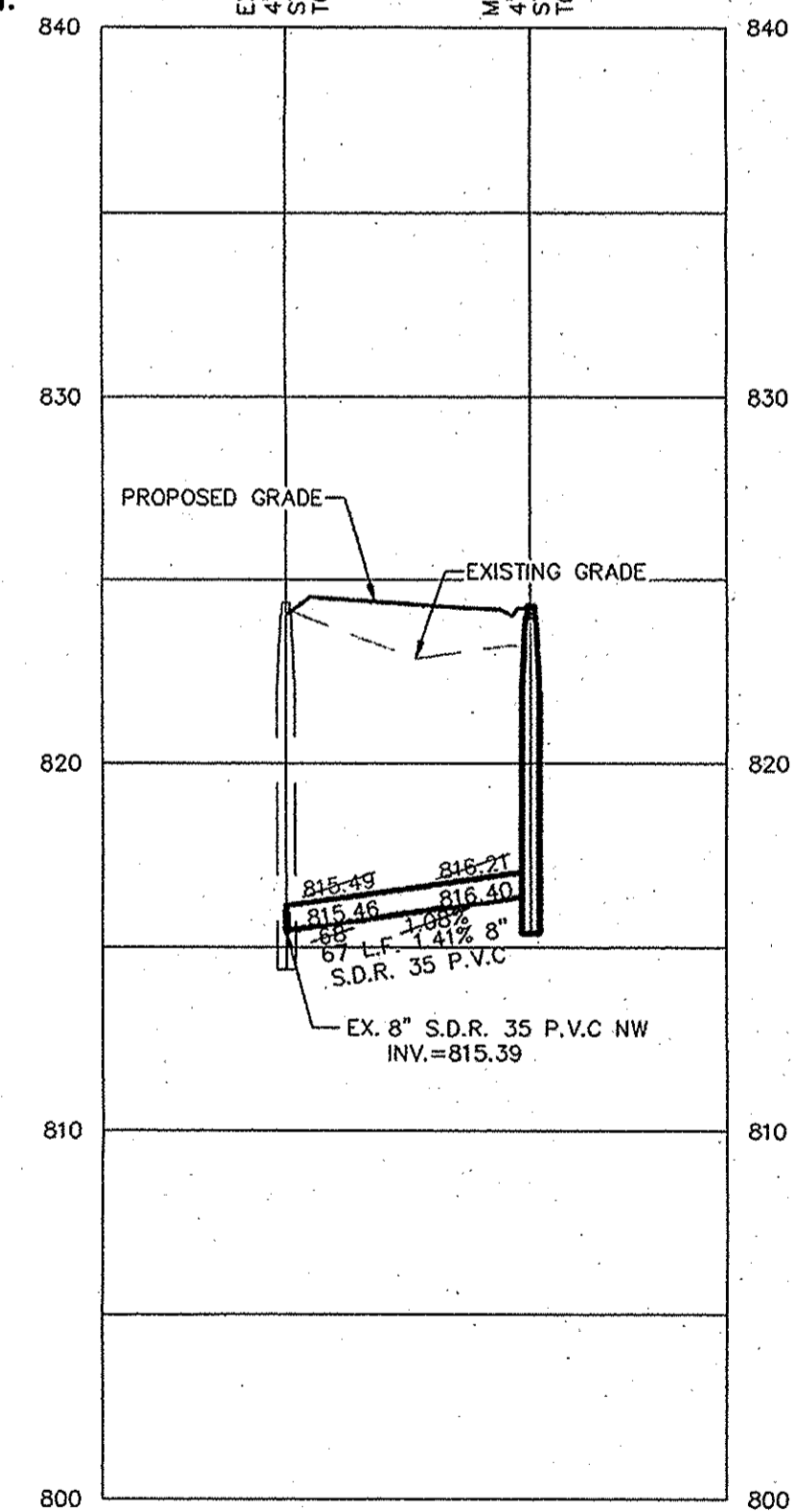
CONTRACTOR SHALL INSTALL LATERAL NO CLOSER THAN 5' FROM BUILDING LINE AND NO GREATER THAN 6' DEEP AT LATERAL END.

REFER TO THE NOBLESVILLE CONSTRUCTION STANDARDS FOR DETAILS OF LATERAL STUBS.

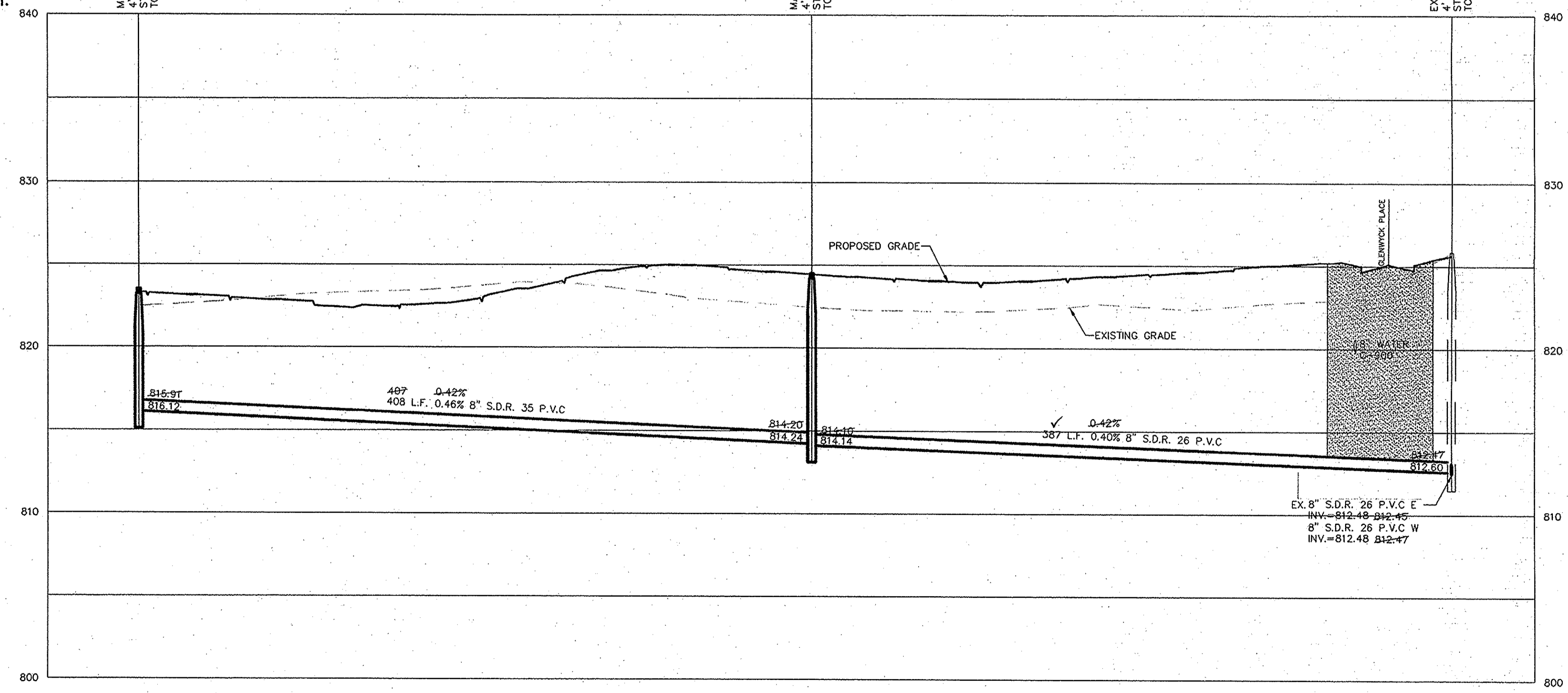
WHERE WATERMAIN AND SANITARY SEWERS CROSS, A MINIMUM OF 18 INCHES OF VERTICAL CLEARANCE MUST BE MAINTAINED. IF THE 18 INCH VERTICAL SEPERATION CANNOT BE MAINTAINED, THE SEWER MUST BE CONSTRUCTED OF WATERWORKS GRADE DUCTILE IRON PIPE WITH MECHANICAL JOINTS WITHIN 10 FEET OF THE WATERMAIN.

 DENOTES FULL DEPTH GRANULAR BACKFILL.

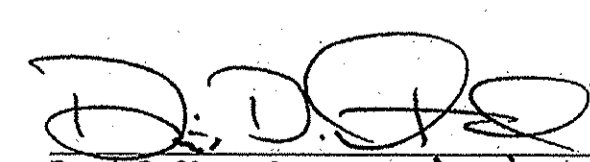
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1"=5' VERT.

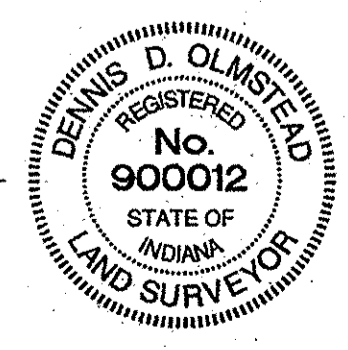


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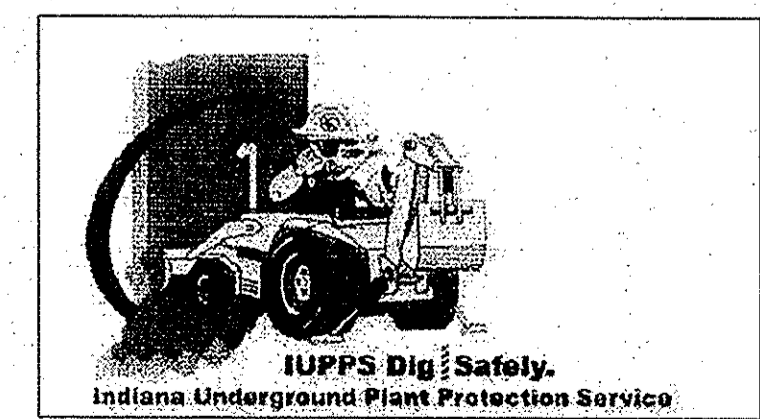


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 Dennis D. Olmstead
 Registered Land Surveyor
 No. 900012
 9/26/2013



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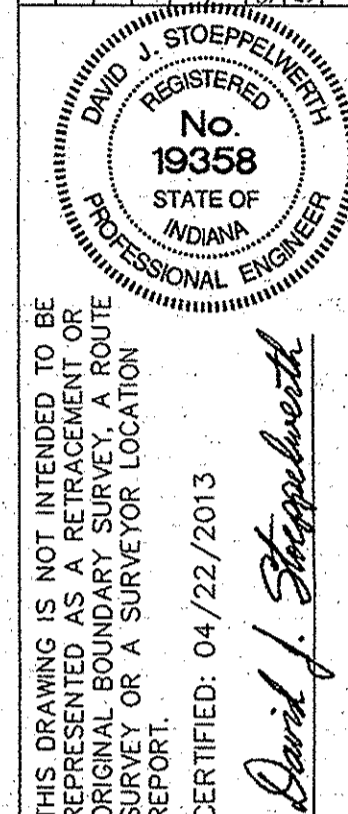
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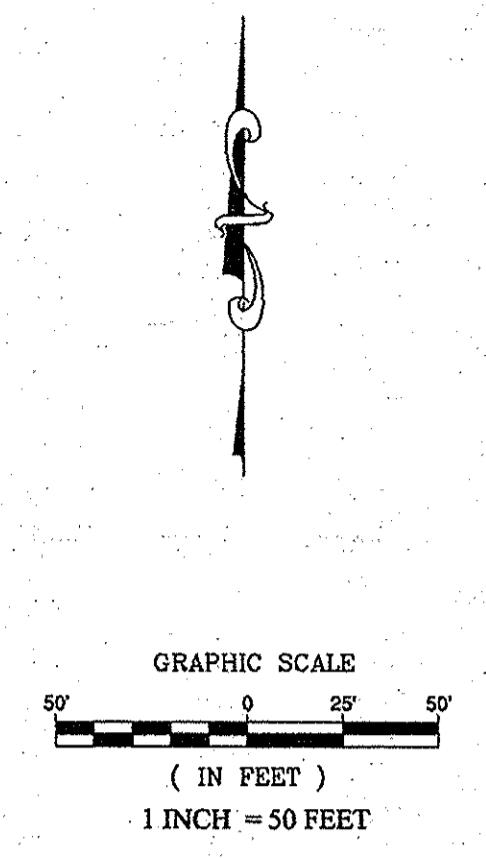
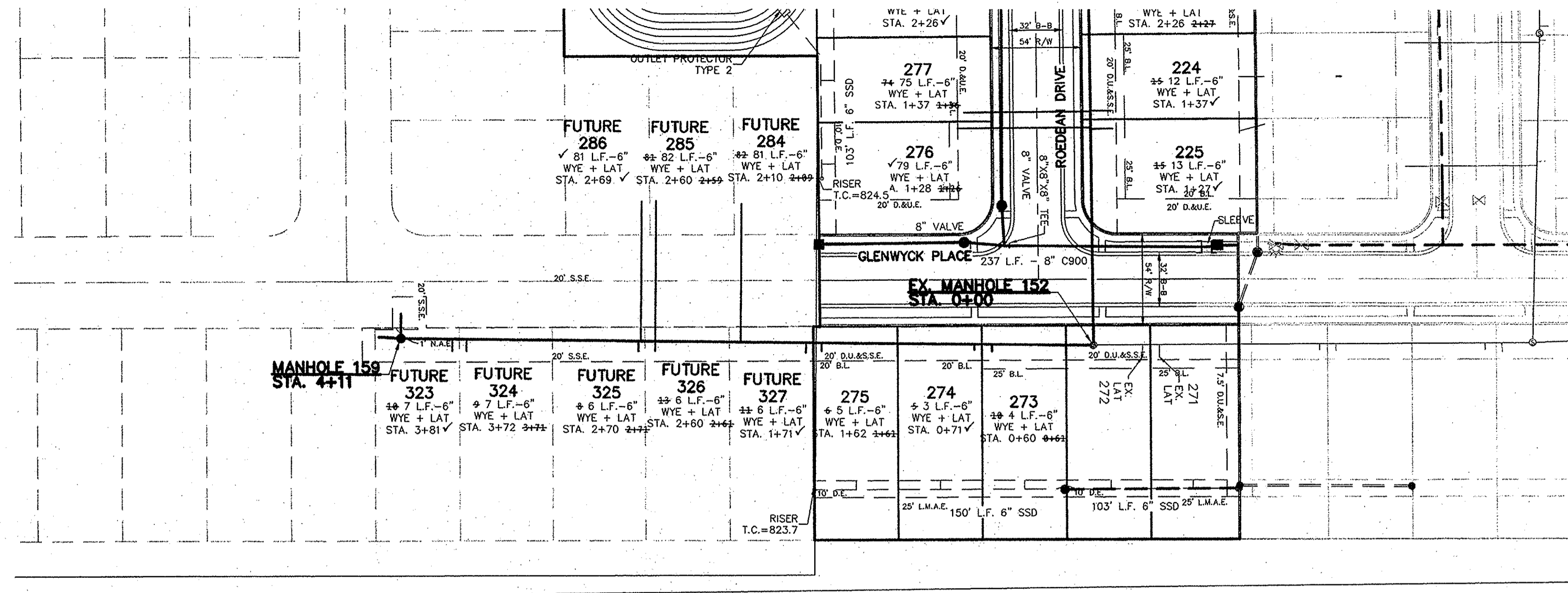
HAMILTON, INDIANA
 NOBLESVILLE

SANITARY SEWER PLAN & PROFILE
 BRIGHTON KNOLL
 SECTION 5

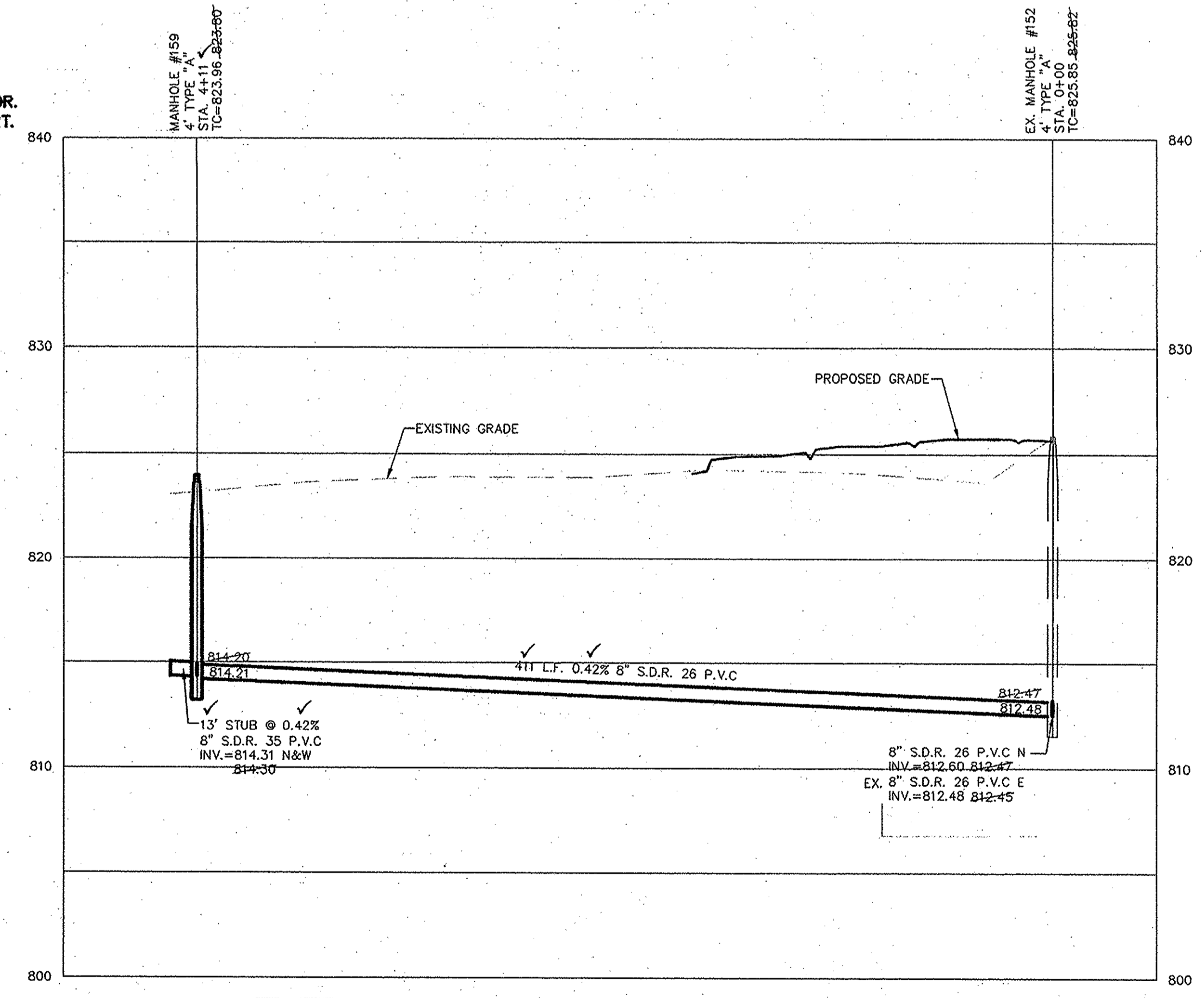
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 CERTIFIED: 04/22/2013


NO.	DATE	REVISIONS

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DENOTES FULL DEPTH GRANULAR BACKFILL

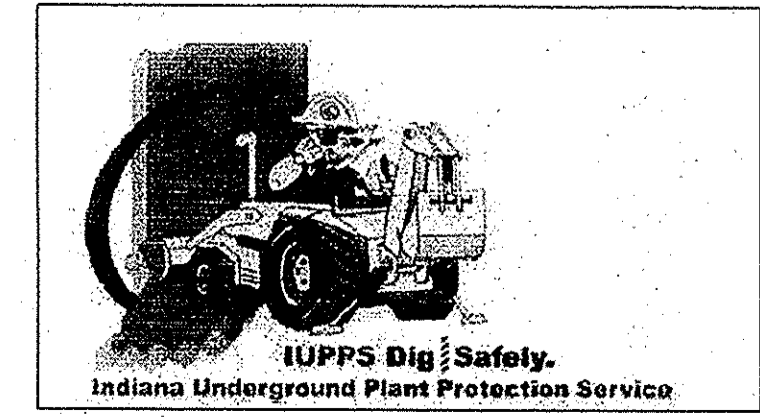
- NOTES
- FULL DEPTH GRANULAR BACKFILL SHALL BE INSTALLED PER NOBLESVILLE STANDARDS. SEE SHEET 6 OF 16 OF THE CITY OF NOBLESVILLE DETAILS FOR SPECIFICATIONS.
 - MIN. SLOPES PER THE TEN STATE STANDARDS SHALL PREVAIL IN ALL CASES.
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Registered Land Surveyor
No. 900012
9/26/2013



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BRIGHTON KNOLL SECTION 5

NOBLESVILLE, INDIANA

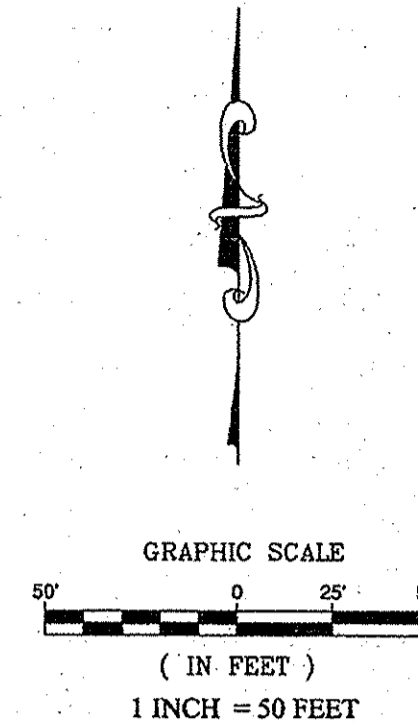
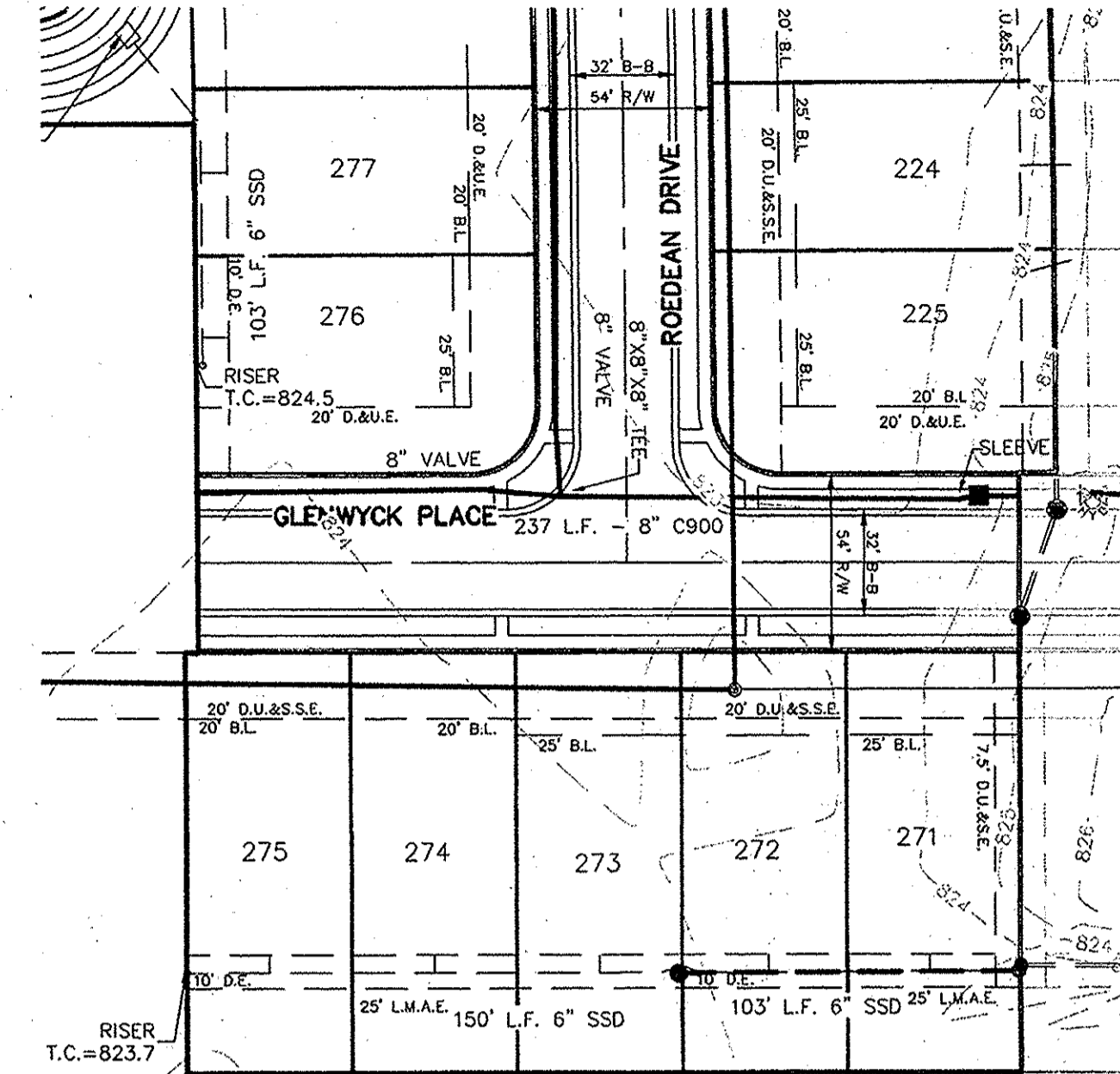
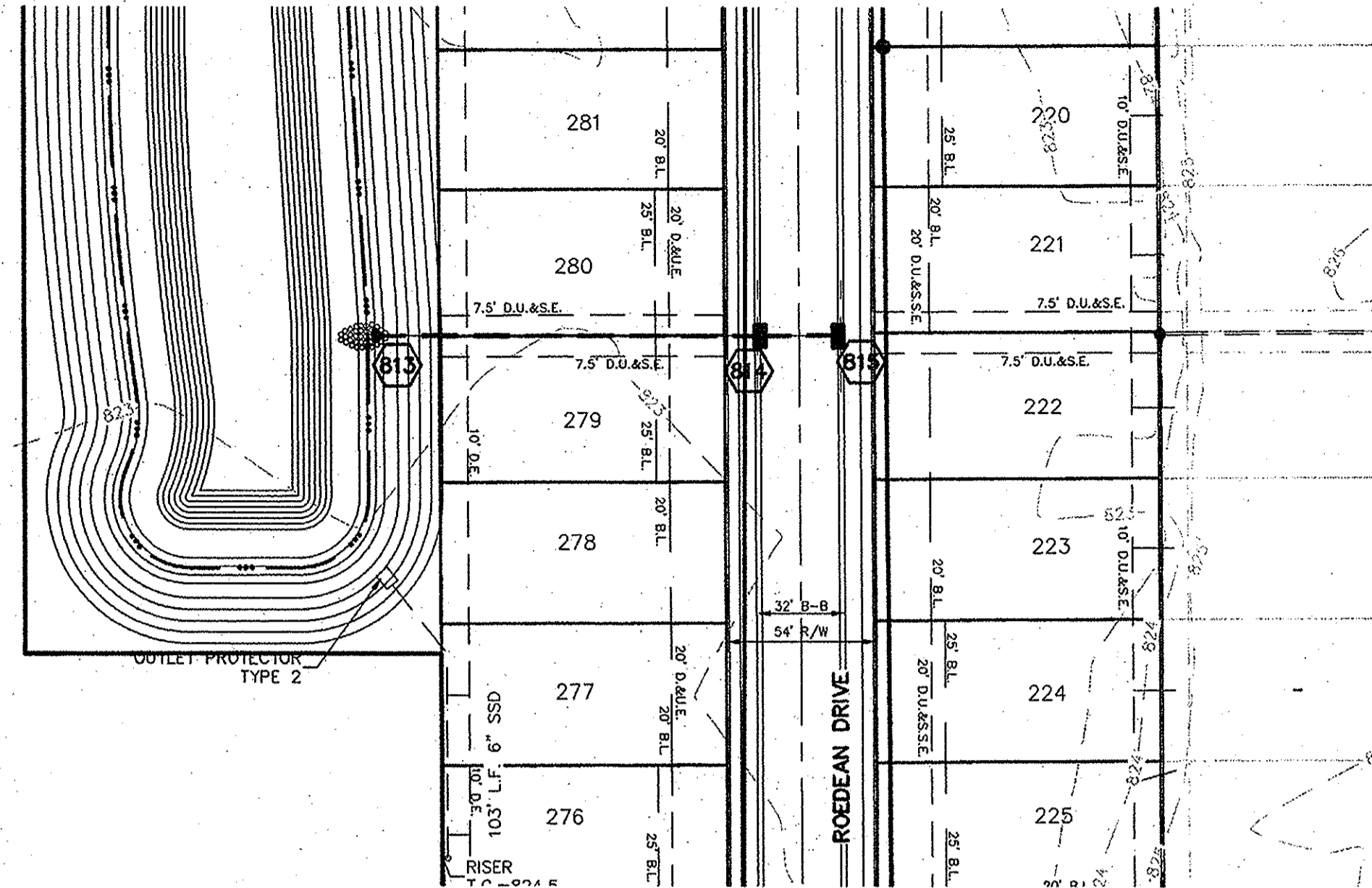
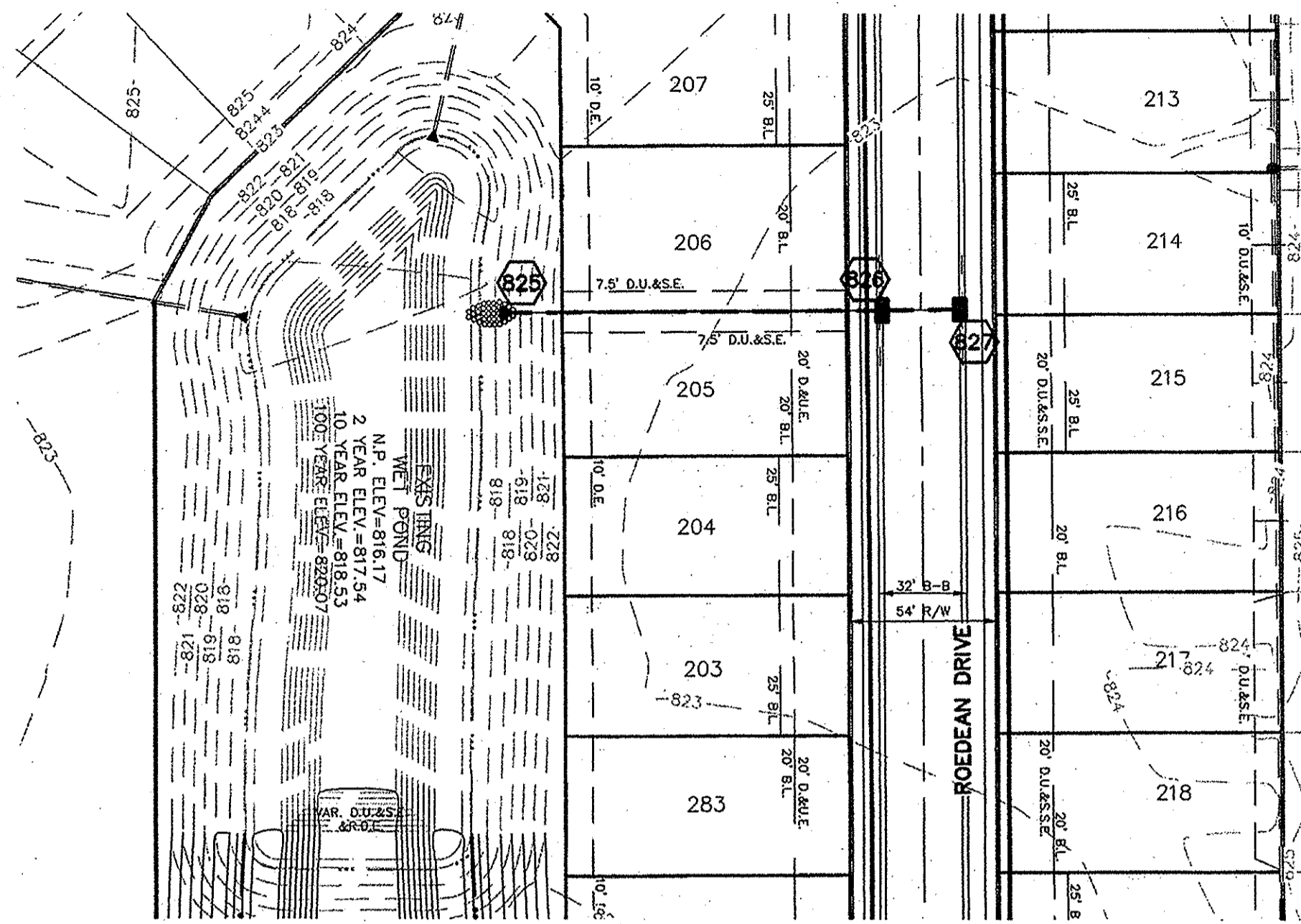
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phone: 317.995.5555 fax: 317.949.5592

STOEPPELWERTH

DAVID J. STOEPPELWERTH
REGISTERED PROFESSIONAL ENGINEER
No. 19358
STATE OF INDIANA
DATE: 9/26/13
MARK: AS BUILT'S
REVISIONS: REVISED PER COMMENTS
BY: KRC

DRAWN BY: ADG
CHECKED BY: BAH
SHEET NO: C501
S & A JOB NO. 43400SS

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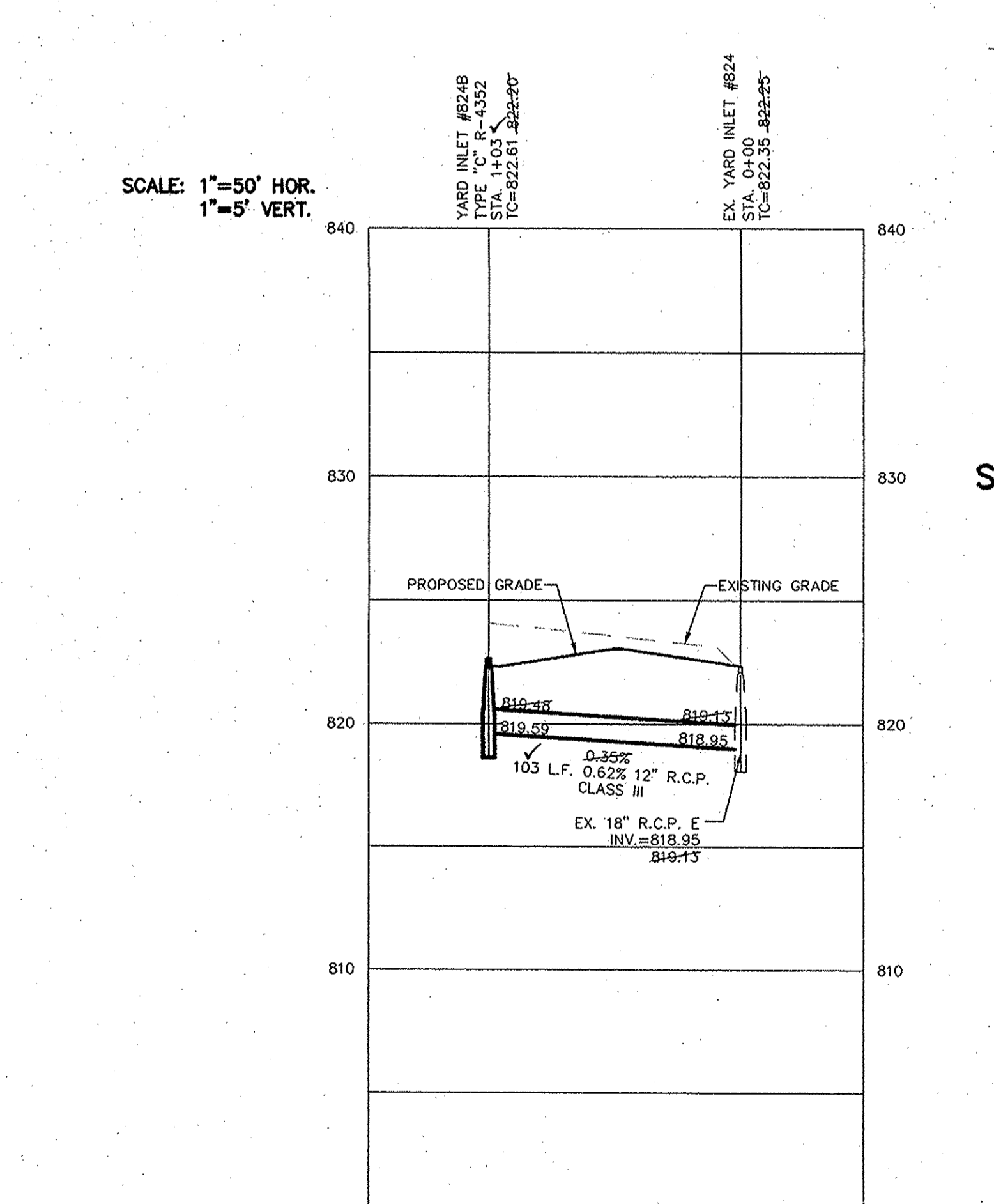
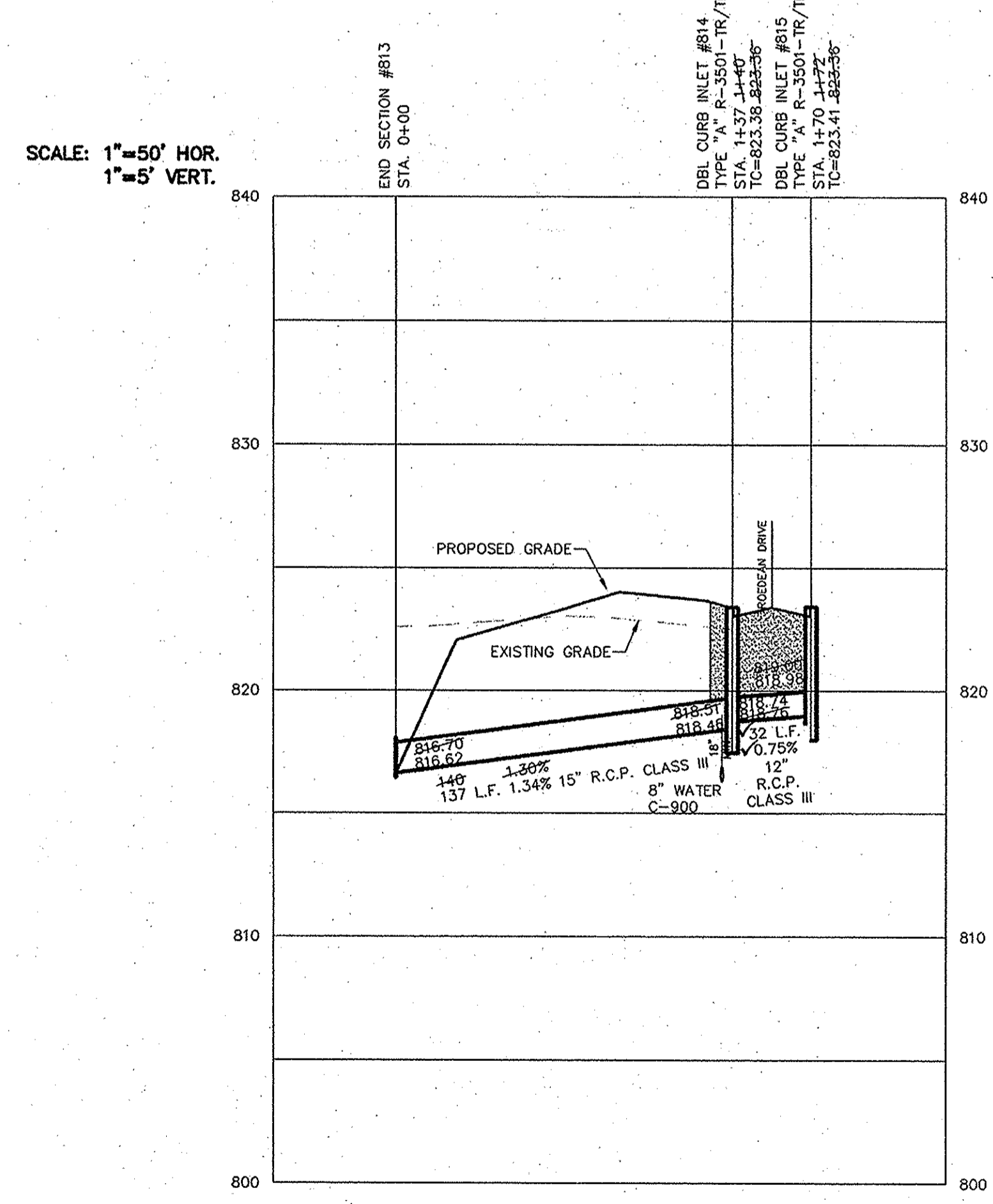
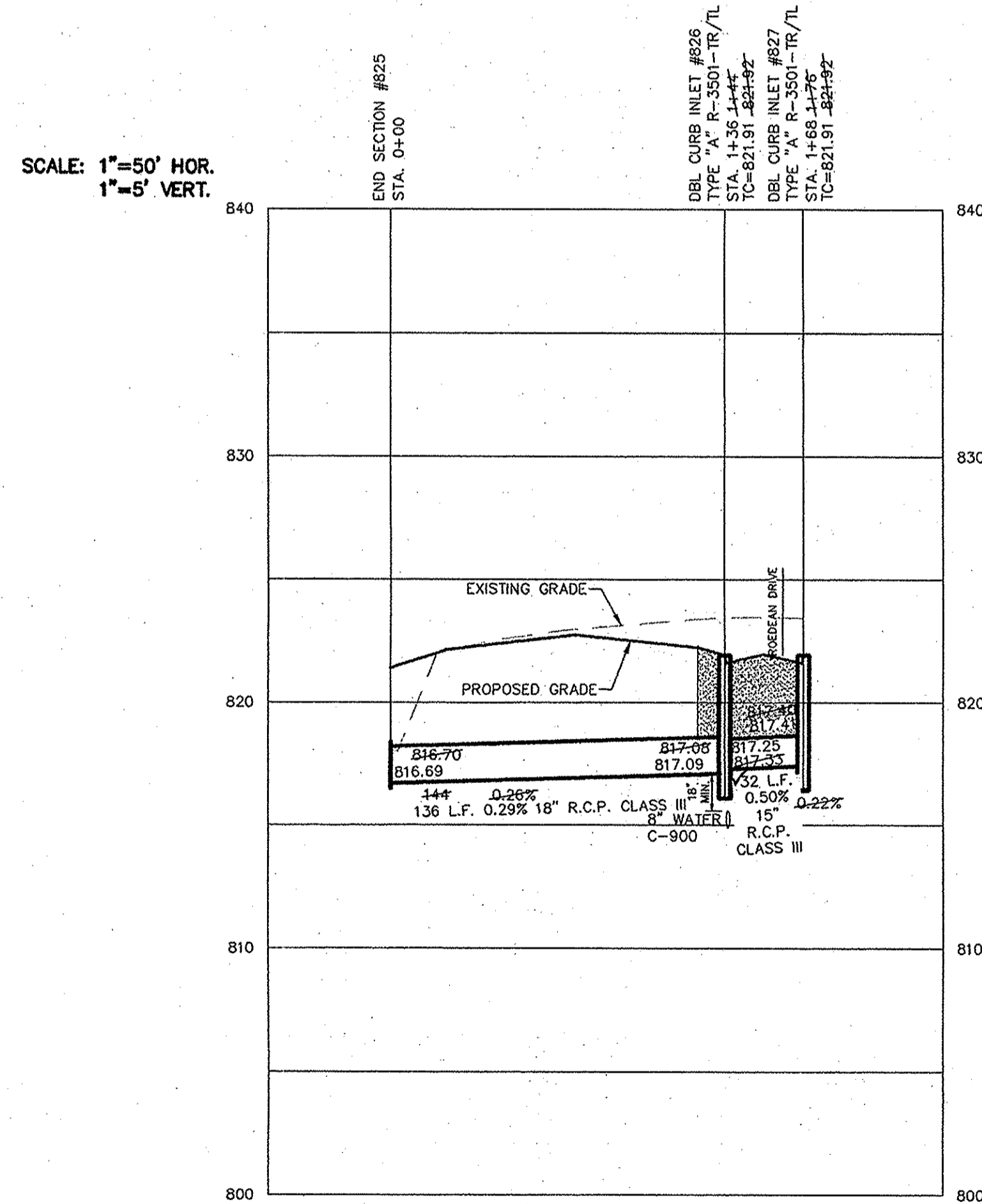
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CERTIFIED: 04/22/2013

David J. Stoepfelwerth

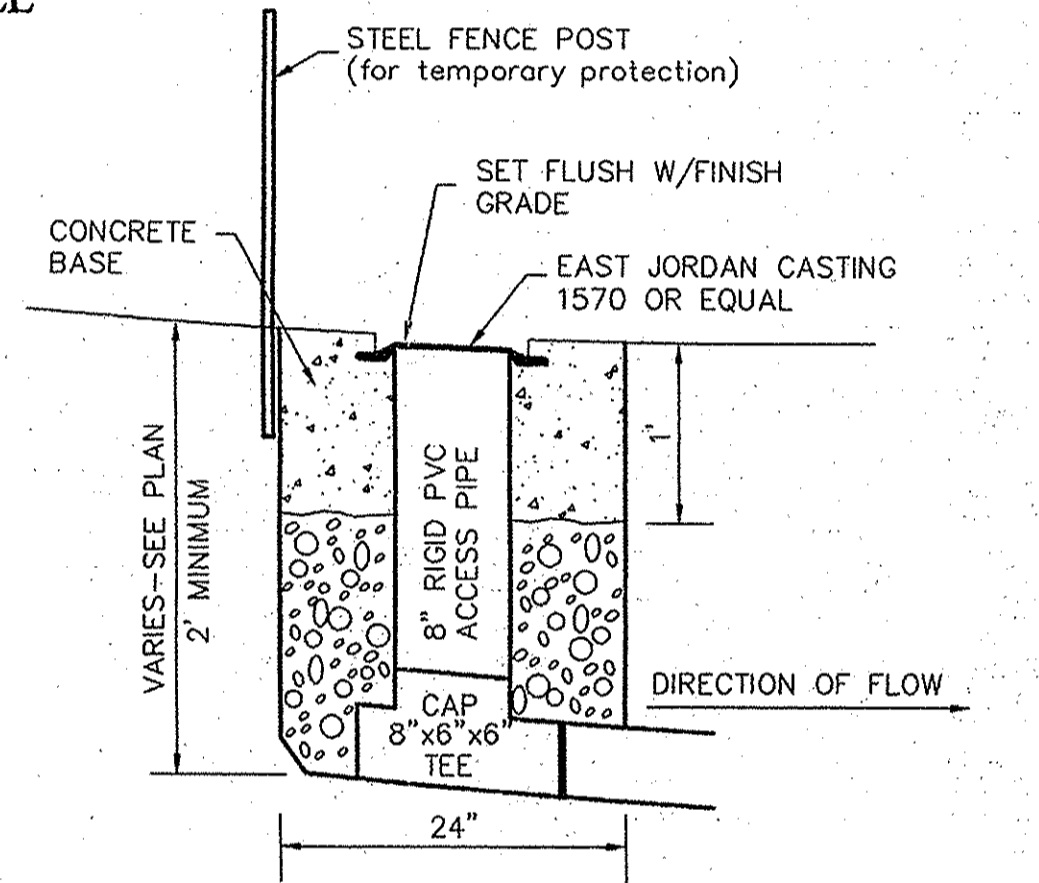
REGISTERED PROFESSIONAL ENGINEER
No. 19358
STATE OF INDIANA



NOTES:

■ DENOTES FULL DEPTH GRANULAR BACKFILL

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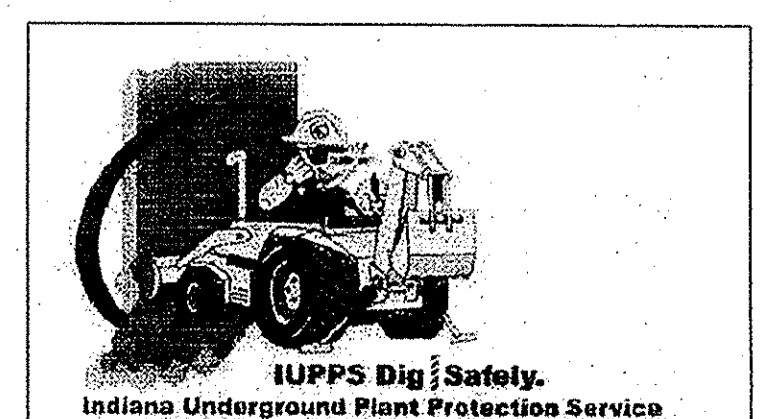
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Dennis D. Olmstead
Dennis D. Olmstead
Registered Land Surveyor
No. 900012

9/26/2012

REGISTERED LAND SURVEYOR
No. 900012
STATE OF INDIANA

CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ONSITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.

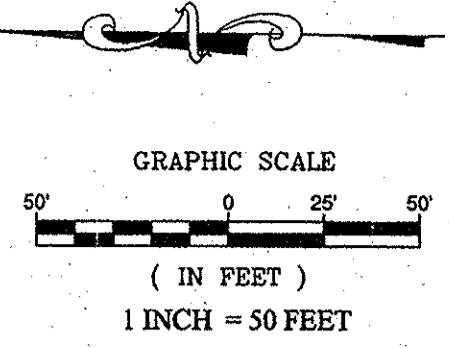


STORM SEWER PLAN & PROFILES
BRIGHTON KNOLL
SECTION 5

HAMILTON, INDIANA
NOBLESVILLE

ALWAYS ON
7605 East 100th Street, Fishers, IN 46038-2905
phone: 317.849.5935 fax: 317.849.5942

DRAWN BY: ADC
CHECKED BY: BAH
SHEET NO. C600
S & A JOB NO. 4340055



NOTES:

ALL WATER VALVES AND METER PITS ARE NOT TO BE LOCATED WITHIN THE SIDEWALKS OR STREET PAVEMENTS. MAINS MAY NOT BE UNDER SIDEWALKS, WALKWAYS, LANDSCAPING, OR MOUNDING.

FOR FIRE HYDRANT REQUIREMENTS SEE THE FIRE HYDRANT SPECIFICATION PROVIDED BY THE NOBLESVILLE FIRE DEPARTMENT.

CONTRACTOR TO VERIFY THAT ALL MAINS, VALVES AND HYDRANTS ARE INSTALLED OUTSIDE OF FUTURE SIDEWALKS, WALKWAYS, LANDSCAPING, MOUNDING AND CURBS.

ALL FIRE HYDRANTS SHALL BE LOCATED BETWEEN THE CURB AND SIDEWALK IN THE RIGHT-OF-WAY. THE 5" STORZ CONNECTION SHALL FACE THE STREET.

CONTRACTOR SHALL MAINTAIN 10" HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAIN.

PRIOR TO THE WATERMAIN INSTALLATION CONTACT THE CITY OF NOBLESVILLE FIRE DEPARTMENT (317) 776-6336 TO SCHEDULE A PRECONSTRUCTION MEETING.

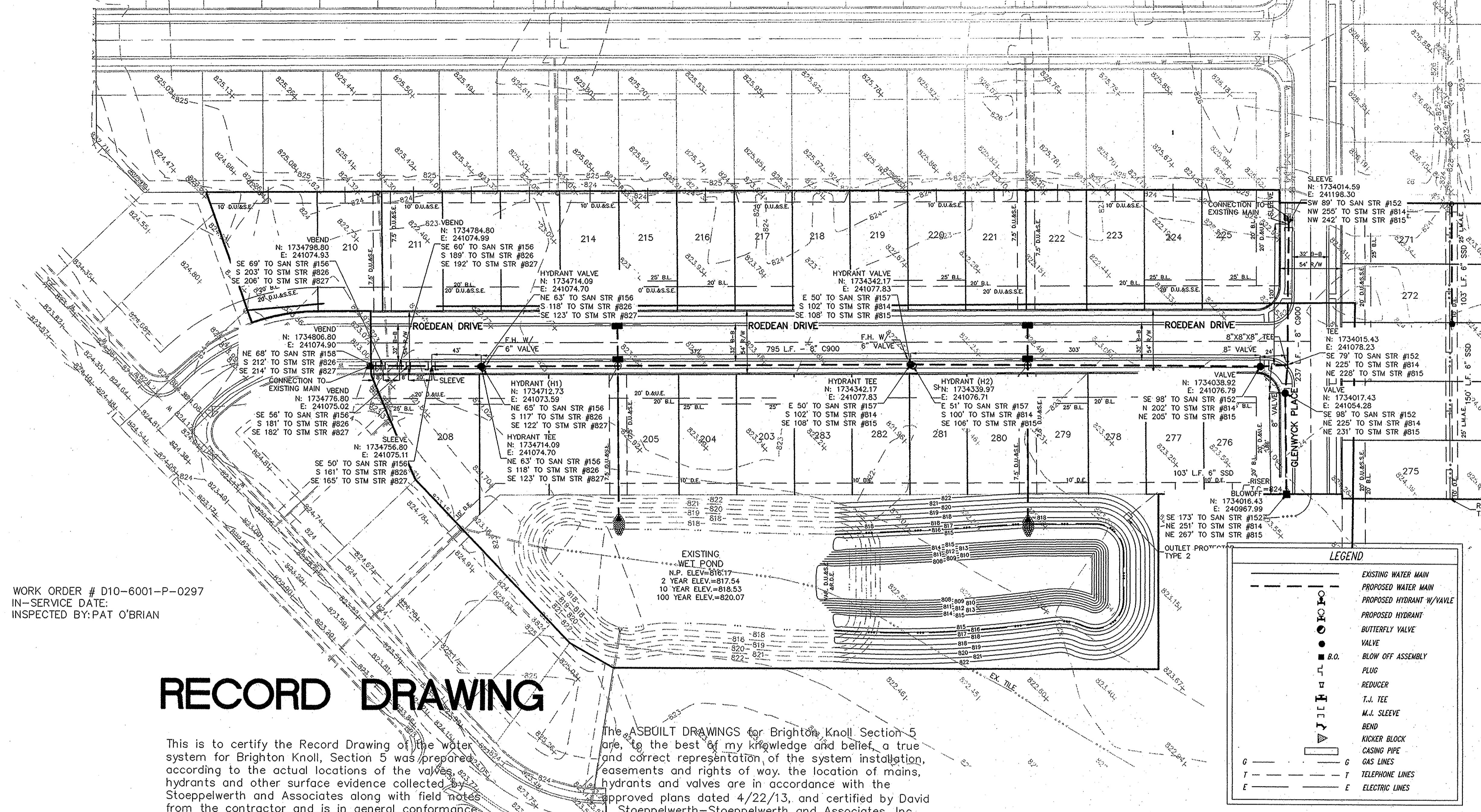
THIS DRAWING IS NOT INTENDED TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ORIGINAL BOUNDARY SURVEYOR. A ROUTE SURVEY OR A SURVEYOR LOCATION REPORT.

CERTIFIED: 04/22/2013

David J. Stoepelwerth

REGISTERED PROFESSIONAL ENGINEER
No. 19358
STATE OF INDIANA

DATE: 9/25/13
REVISIONS: AS BUILTS
MARK: BY



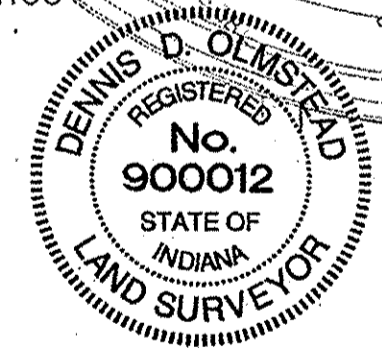
WORK ORDER # D10-6001-P-0297
IN-SERVICE DATE:
INSPECTED BY: PAT O'BRIAN

RECORD DRAWING

This is to certify the Record Drawing of the water system for Brighton Knoll, Section 5 was prepared according to the actual locations of the valves, hydrants and other surface evidence collected by Stoepelwerth and Associates along with field notes from the contractor and is in general conformance with the approved plan dated

Dennis D. Olmstead
DENNIS D. OLMSTEAD
Registered Land Surveyor
No. 900012

9/25/2013
DATE



David J. Stoepelwerth
DAVID J. STOEPELWERTH
Professional Engineer
No. 19358

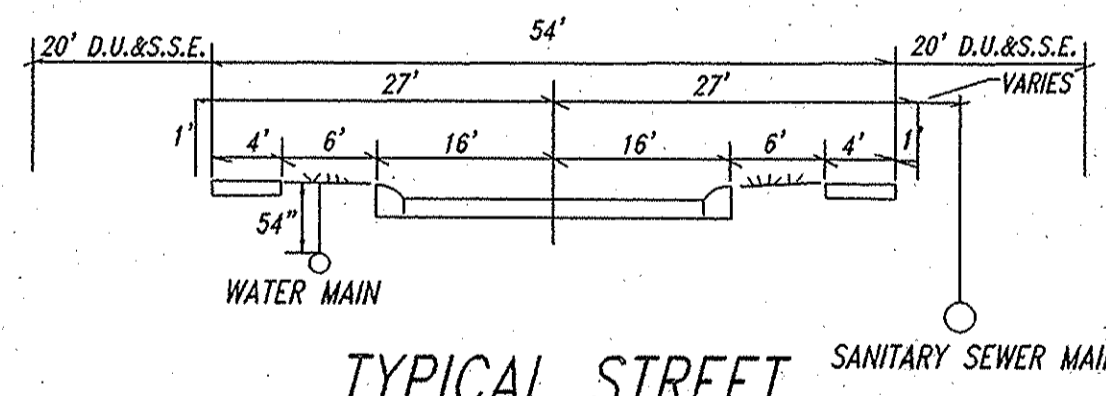
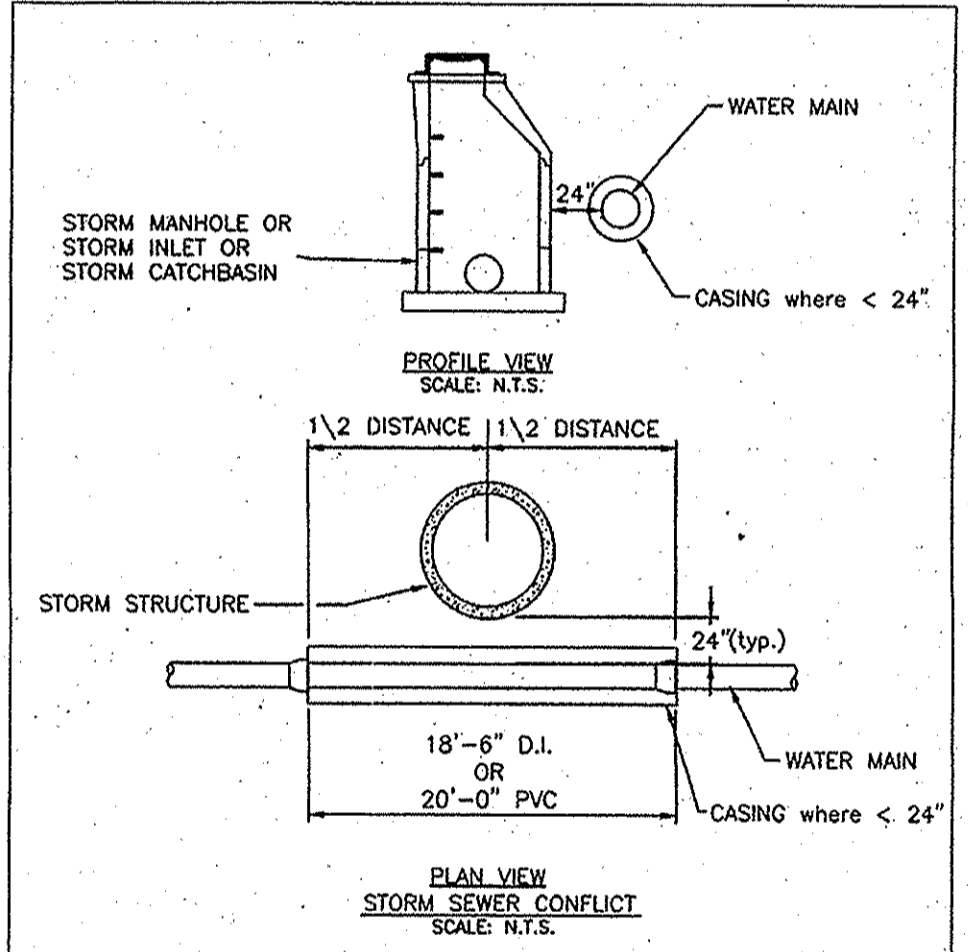
9-25-13
DATE



The ASBUILT DRAWINGS for Brighton Knoll Section 5 are to the best of my knowledge and belief, a true and correct representation of the system installation, easements and rights of way, the location of mains, hydrants and valves are in accordance with the approved plans dated 4/22/13, and certified by David Stoepelwerth-Stoepelwerth and Associates, Inc. and the Indiana American technical specification for developer installed mains.

LEGEND

- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- PROPOSED HYDRANT W/VALVE
- PROPOSED HYDRANT
- BUTTERFLY VALVE
- VALVE
- BLOW OFF ASSEMBLY
- PLUG
- REDUCER
- T.J. TEE
- M.J. SLEEVE
- BEND
- KICKER BLOCK
- CASING PIPE
- GAS LINES
- TELEPHONE LINES
- ELECTRIC LINES



CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ONSITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.



Utility Contacts
VETREN
DUKE ENERGY
Ameritech
American Telephone & Telegraph Company
INSIGHT CABLE
Indiana American Water



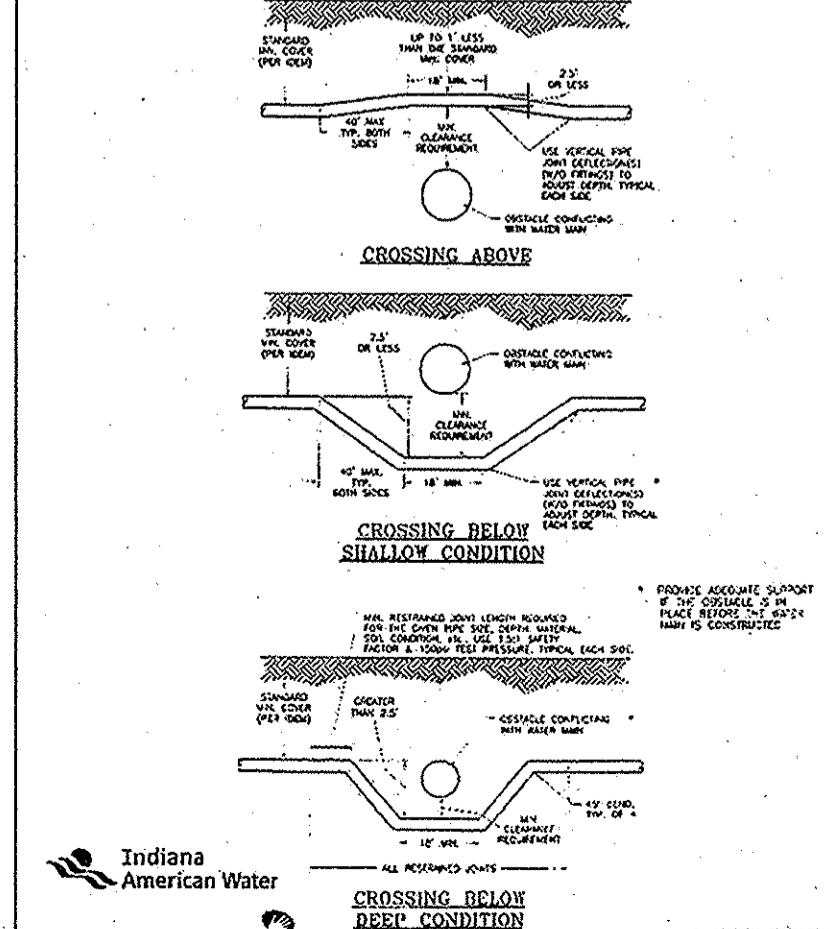
City of Noblesville Fire Hydrant Specifications

- A water distribution plan, with the fire hydrants identified, shall be submitted and approved by the Fire Marshal of the City of Noblesville Fire Department prior to construction of a structure.
- All on-site fire hydrants shall be located between the curb and sidewalk in the right-of-way. The 5" storz connectors shall face the street.
- The number, size, and arrangement of outlets, the size of the main valve opening and the size of the barrel shall be suitable for the required fire protection.
- The type and installation of fire hydrants shall meet the following criteria:
 - Mechanical joint connection for 6" service pipe
 - A minimum of a 5 1/2" diameter main valve opening
 - Two (2) 2 1/2" male outlets with threads being National Standard
 - A steamer outlet with a 5" Storz Connection and a 5" storz cap & chain
 - A main valve seat provided with bronze to bronze threads
 - A "break-a-way" hydrant that allows the barrel to break with a minimal amount of water escaping
 - Four (4) drain holes in the bottom to prevent freezing
 - All public hydrants shall be painted with two (2) coats of paint in the color "Traffic Yellow", "Caution Yellow", or "Safety Yellow" (Do not paint the Storz Connection)
 - All private hydrants shall be painted with two (2) coats of paint in the color "Safety Red" or equivalent (Do not paint the Storz Connection)
 - The hydrant shall be operated by a national standard pentagon operating nut (1 1/2 inch)

NOBLESVILLE FIRE DEPARTMENT REQUIREMENTS FOR RESIDENTIAL DEVELOPMENTS

- In subdivisions, fire hydrants shall be spaced a maximum of 500 feet apart. No structure shall be more than 250 feet from a fire hydrant. Submit plans to the Noblesville Fire Department for review.
- Fire hydrants shall meet the City of Noblesville Specifications. (See attached) On-site fire hydrants shall be located between the curb and sidewalk in the right-of-way. The storz connection shall face the street.
- Fire hydrants shall be installed, functional, and approved by this office, prior to the issuance of any building permits.
- The fire department shall not be deterred or hindered from gaining immediate access to fire hydrants. (IPC 508.5.4)
- A 3-foot clear space shall be maintained around the circumference of fire hydrants. (IPC 508.5.5)
- Fire apparatus access roads shall be installed and made serviceable prior to the issuance of any building permits.
- Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The apparatus access road shall have an unobstructed width of 20 feet at all times. (IPC 503.4)
- Between phases, all non-completed fire department access roads in excess of 150 feet shall be constructed with a temporary means to insure road fire apparatus.

DESIGN CRITERIA FOR UTILITY CONFLICTS/CROSSINGS



Indiana American Water - Developer Installed Water Mains

RESTRAINED JOINTS

ADDITION TO SPECIFICATIONS OR INCLUDE AS NOTES ON APPLICABLE PLAN SHEETS

SECTION 1504 - RESTRAINED JOINTS AND FITTINGS

2.81 JOINTS AND FITTINGS

2.82 JOINTS AND FITTINGS

2.83 JOINTS AND FITTINGS

2.84 JOINTS AND FITTINGS

2.85 JOINTS AND FITTINGS

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2.98 JOINTS AND FITTINGS

2.99 JOINTS AND FITTINGS

3.00 JOINTS AND FITTINGS

Indiana American Water - Developer Installed Water Mains

Acceptable manufacturers are SBA Iron and Ford Meter Box Company. Products listed are acceptable for use in the following applications:

Material	SBA Iron and Ford Meter Box Company	Product Name	Product Size
PVC (4" O.D.)	2000	1000	1300
DP	1100	1200	1300

Alternatively, for above ground installation, fittings and/or valves shall be mechanical joint and/or coupling/adapter can be used in lieu of above details.

Acceptable manufacturers and products are the "Water Adapter" by DEFACTO, Corp. and pre-manufactured pipe spools with solid end-to-end joints by Vycor Pipe-Products Division/Industrial Franchise Co., Inc.

2.99 - Pipe and Fittings

2.100 - Hydrants

WORK ORDER# D10-6001-P-0297

WATER PLAN

BRIGHTON KNOLL

SECTION 5

DRAWN BY: ADG
CHECKED BY: BAH

SHEET NO. C700

S & A JOB NO. 4340055